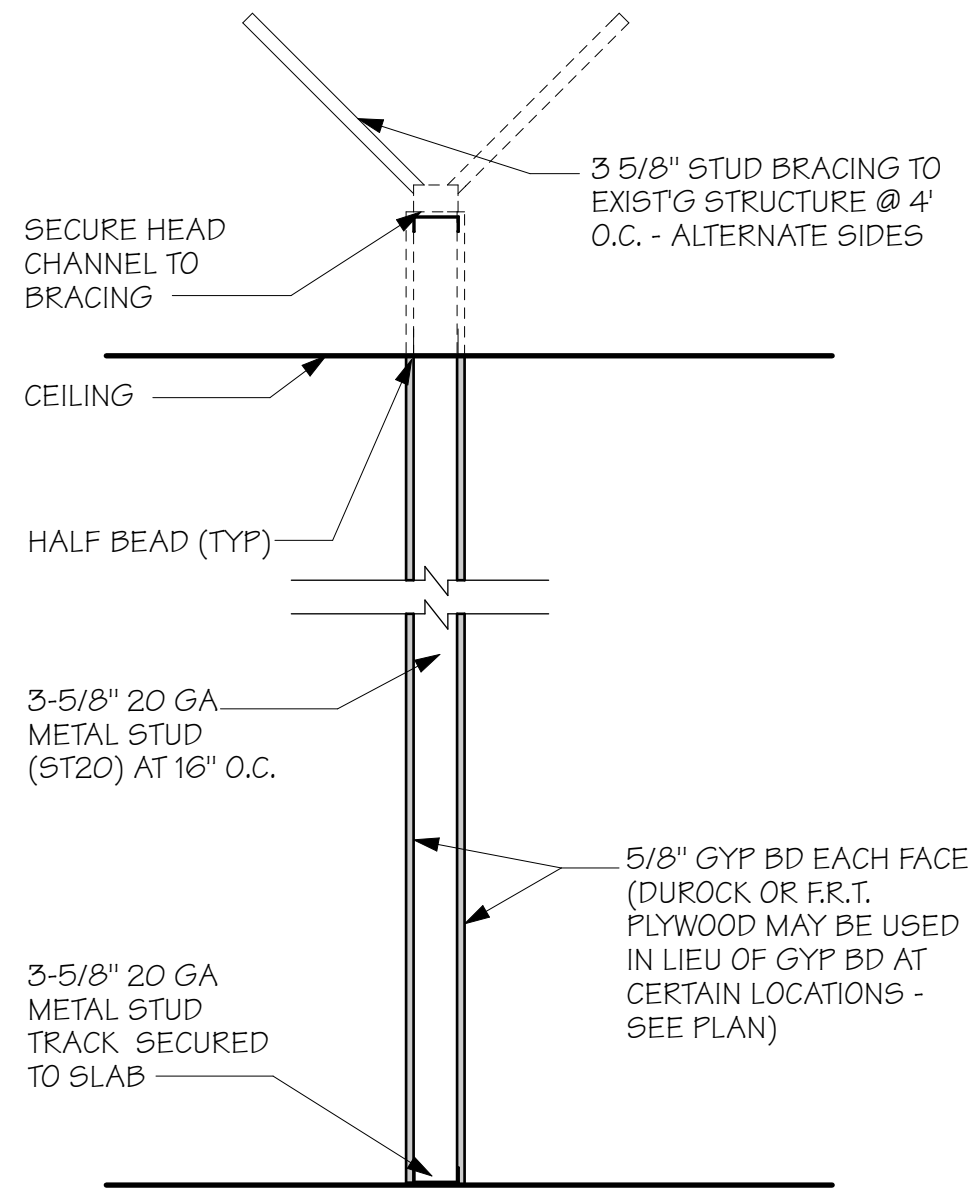


FLOOR PLAN NOTES:

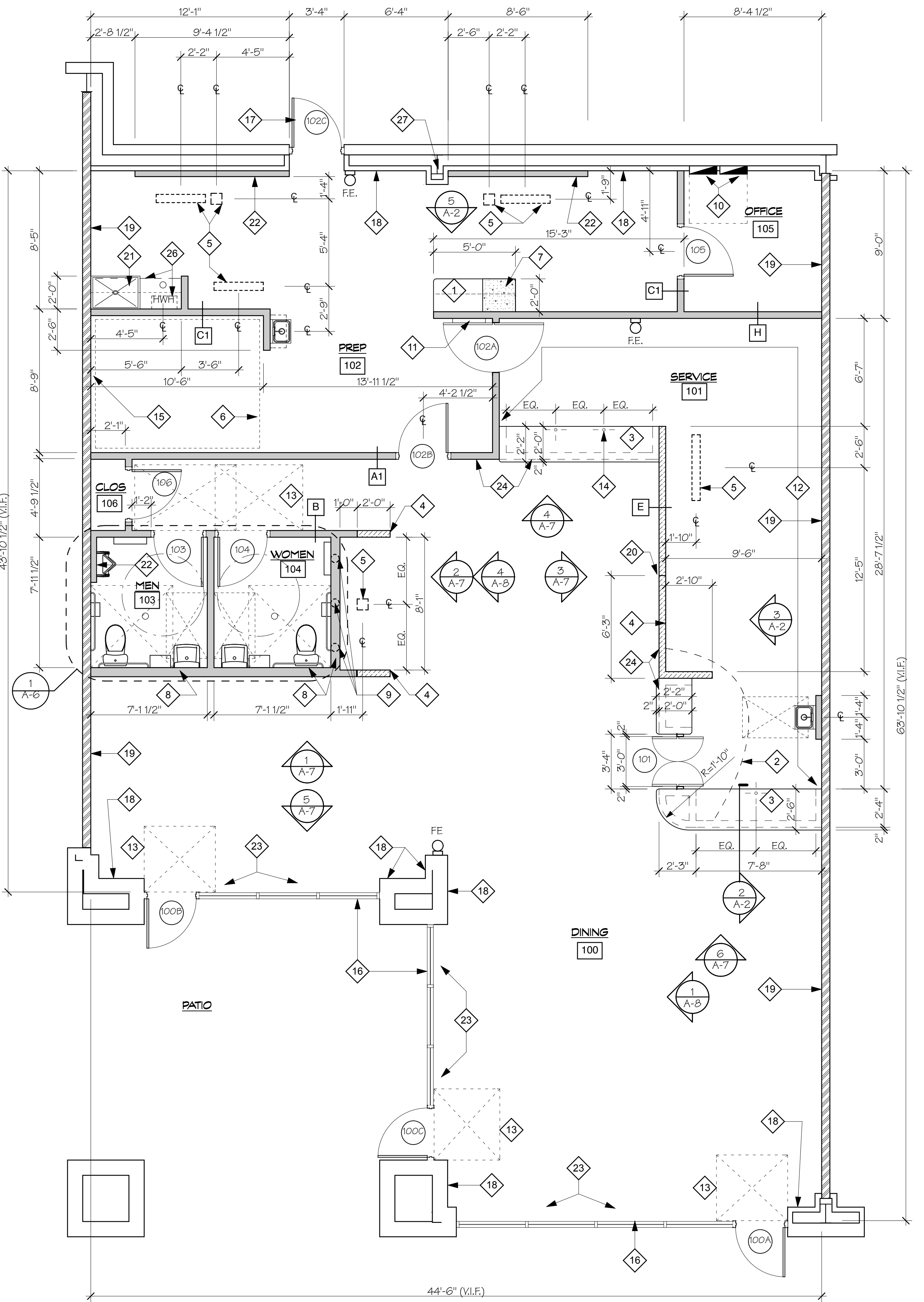
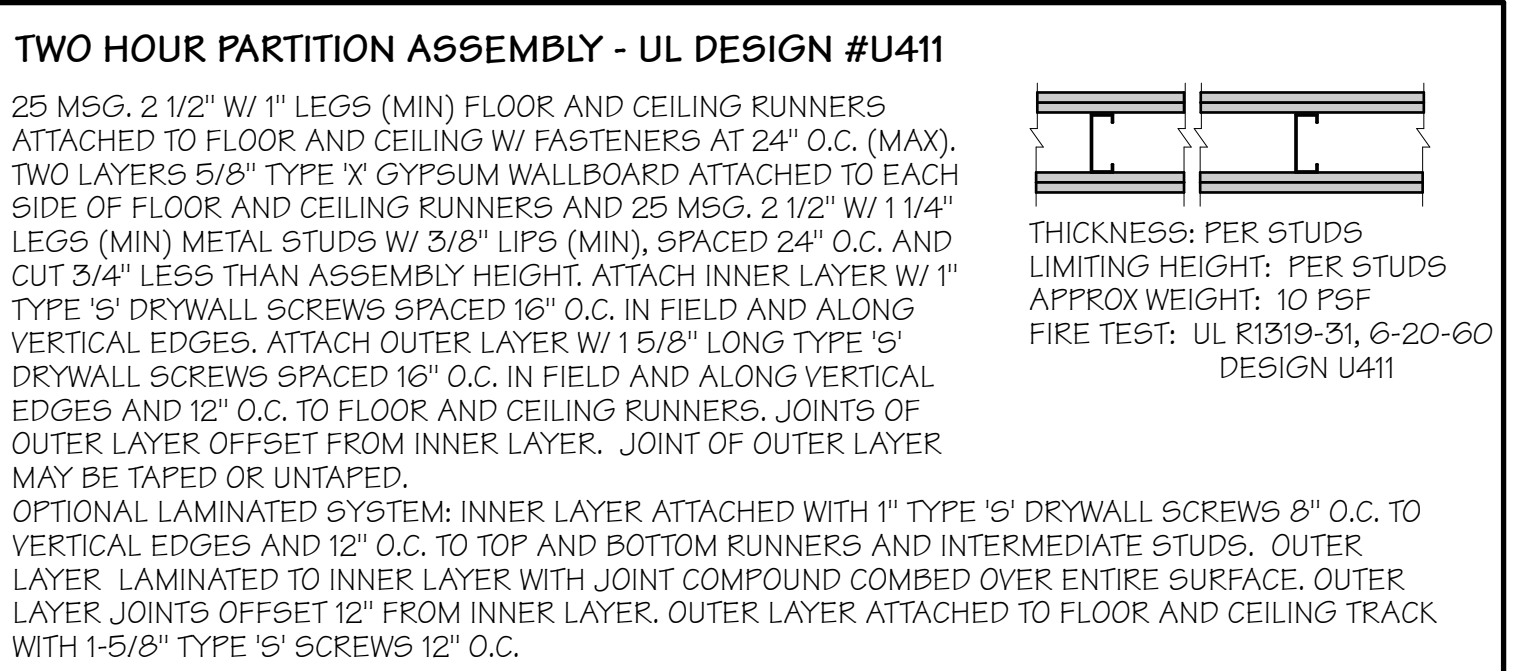
GENERAL:

- CONCRETE SLAB TO BE PATCHED SMOOTHED AND MADE READY FOR NEW FINISHES.
- PATCH (TAPE & SPACKLE), SAND, AND REPAIR EXTERIOR & DEMISING WALLS. PREPARE FOR NEW FINISH, WHERE APPLICABLE
- REFER TO PARTITION LEGEND FOR WALL TYPES, SHEET A1.1
- **IN TILED AREAS:** ALL NEW AND EXISTING NON-FIRE RATED PARTITIONS TO RECEIVE 5/8" DUROCK (1/2" MIN) FROM SLAB TO 4'-4 3/4" AFF INSTEAD OF GYPSUM BOARD
- **IN PREP / SERVICE AREAS:** ALL NEW & EXISTING NON-FIRE RATED WALLS TO RECEIVE 5/8" DUROCK (1/2" MIN), FROM SLAB TO 24" AFF INSTEAD OF GYPSUM BOARD. PROVIDE 5/8" FIRE RETARDANT TREATED PLYWOOD FROM 24" AFF TO CEILING
- **AT FIRE RATED PARTITIONS:** G.C. SHALL MAINTAIN INTEGRITY OF FIRE RATED ASSEMBLY AND LAMINATE NEW DUROCK BASE WITH GYP. BOARD OR FIRE RETARDANT TREATED PLYWOOD ABOVE (AS SPECIFIED IN NOTE ABOVE) DIRECTLY TO FACE OF FIRE RATED PARTITION AT FIRE RATED PARTITIONS. DO NOT REPLACE GYP. BOARD WITH DUROCK OR PLYWOOD
- CAULK MILLWORK TO PARTITIONS AND AT ALL CRACKS AND CREVICES
- G.C. TO REPAIR/REPLACE WINDOW SHADES WHERE APPLICABLE
- G.C. SHALL FURNISH FIRE-RETARDANT-TREATED WOOD IN ALL ENCLOSED SPACES
- ALL EXPOSED CORNERS ON COUNTERS, SHALL BE ROUNDED
- REFER TO EQUIPMENT PLAN FOR TRENCH DRAIN LOCATIONS @ SERVICE & PREP AREAS
- **ALL ROOFING WORK AND PENETRATIONS TO BE PERFORMED BY L.L. ROOF CONTRACTOR @ G.C. EXPENSE.** G.C. TO PROVIDE, AS REQUIRED, VERIFICATION OF EXISTING STRUCTURE TO CARRY ALL NEW ROOF MOUNTED EQUIPMENT. G.C. TO PROVIDE AS REQUIRED, STRUCTURAL DESIGN FOR, AND ALL NECESSARY ADDITIONAL ROOF REINFORCEMENT & BRACING
- ALL OUTSIDE CORNERS IN KITCHEN & DINING TO RECEIVE STAINLESS STEEL CORNER GUARDS, BASE TO 60" AFF (AT TILED AREAS IN DINING, FROM BASE TO TOP OF TILE - SEE DETAIL, SHEET A-4)
- FOR MILLWORK & FLOOR DRAIN CLARIFICATIONS, CONTACT FIVE GUYS CONSTRUCTION MANAGER, BRANDON HIGGINBOTHAM (404) 232-9216
- WHERE WALL TYPES ARE NOTED AS SIMILAR (SIM), REFER TO FINISH PLAN FOR CLARIFICATION OF WALL FINISHES

- 1. WORK DESK MILLWORK: G.C. TO FURNISH WHITE PLASTIC LAMINATE (PL-2) COUNTER AND ADJUSTABLE WHITE PLASTIC (PL-2) SHELVING ABOVE. SEE ELEV., SHEET A-2
- 2. G.C. TO FURNISH 1" METAL CONDUIT, SHOWN DASHED, FROM SANDWICH WALL TO POS WALL FOR POS SYSTEM
- 3. MILLWORK COUNTER - PROVIDE RED SILSTONE SURFACE (SLS) COUNTERTOP - PROVIDE FRP ON REAR FACE - SEE DETAILS, SHEET A-2 SEE ELEVATIONS, SHEET A-7
- 4. NEW HALF HEIGHT PARTITION (HEIGHT VARIES) - SEE INTERIOR ELEVATIONS & PARTITION LEGEND. CONFIRM HALF HEIGHT WALLS AT BEVERAGE WITH FIVE GUYS CONSTRUCTION MGR.
- 5. TRENCH DRAIN & FLOOR SINK SHOWN DASHED. SEE FLOOR & EQUIPMENT PLANS AND PLUMBING DRAWINGS
- 6. DASHED LINE INDICATES LOCATION OF NEW WALK-IN COOLER
- 7. PROVIDE 24"W x 24"D x 4"H CONCRETE CURB BENEATH SAFE; CONFIRM LOCATION/SIZE W/ FRANCHISEE PRIOR TO CONSTRUCTION
- 8. PROVIDE 6" METAL STUDS @ NEW PARTITION AS SHOWN
- 9. APPROXIMATE LOCATION OF 4" PVC SLEEVE (SHOWN DASHED) FOR SODA LINE FROM ABOVE CEILING TO INSIDE DRINK CABINET. CONFIRM SLEEVE W/ BEVERAGE VENDOR PRIOR TO INSTALLATION. SEE ENLARGED BEVERAGE STATION ELEVATION FOR FURTHER DETAILED INFORMATION ON SODA LINES, WATER LINES, DRAIN LINES AND FLOOR SINK.
- 10. ELECTRICAL PANEL LOCATION - SEE ELECTRICAL DRAWINGS. DASHED LINE INDICATES CODE REQ'D CLEARANCE.
- 11. NEW TELEPHONE BOARD LOCATION - SEE ELECTRICAL DRAWINGS
- 12. G.C. TO PROVIDE STAINLESS STEEL FINISH, OVER ONE LAYER 5/8" DUROCK FROM FLOOR TO CEILING BEHIND COOK LINE HOOD AND ON SIDE WALLS OF SERVICE AREA. NO WOOD BLKG IN WALL OR PLYWOOD ON OPPOSITE SIDE OF WALL IS ALLOWED WITHIN 18" OF HOOD. ANY WOOD BEYOND 18" FROM HOOD SHALL BE FIRE RETARDANT TREATED.
- 13. DASHED BOX INDICATES HANDICAP ACCESSIBLE FLOOR & APPROACH CLEARANCE (TYP)
- 14. PROVIDE STAINLESS STEEL SUPPORT LEG W/ SCREW TYPE LEVELLER @ UNDERSIDE OF MILLWORK COUNTERTOP - FLANGES AT TOP & BOTTOM (SEE PLAN FOR SPACING)
- 15. PROVIDE HOSE BIB CENTERED ON BACK WALL OF WALK-IN AT 18" BELOW WALK-IN CEILING (COORDINATE WITH WALK-IN SHOP DRAWINGS)
- 16. EXISTING WINDOW/STOREFRONT TO REMAIN (TYP). REKEY DOORS PER TENANT & PROVIDE PANIC HARDWARE
- 17. EXISTING REAR DOOR TO REMAIN, PROVIDE HARDWARE PER SCHEDULE AND REKEY PER TENANT
- 18. **AT EXPOSED STUDS @ EXISTING EXTERIOR WALL, ENSURE EXISTING INSULATION HAS BEEN INSTALLED BY LANDLORD: AT PREP AREA:** G.C. SHALL PROVIDE ONE LAYER 5/8" DUROCK FROM FLOOR UP TO 24" AFF, W/ ONE LAYER 5/8" FIRE RETARDANT TREATED PLYWOOD FROM 24" AFF TO CEILING W/ FRP FINISH. **AT DINING AREA:** G.C. SHALL PROVIDE ONE LAYER 5/8" DUROCK FROM FLOOR UP TO 4'-4 3/4" AFF, W/ ONE LAYER 5/8" GYP. BOARD FROM 4'-4 3/4" AFF TO CEILING. SEE FINISH PLAN FOR FINISH LOCATIONS
- 19. VERIFY INTEGRITY OF LANDLORD PROVIDED TWO HOUR FIRE RATED DEMISING CONSTRUCTION (SHOWN HATCHED) AND SEAL ANY OPENINGS - SEE UL DETAIL THIS SHEET. **OVER EXISTING FIRE RATED GYP. BOARD AT PREP AREA,** LAMINATE ONE LAYER 5/8" DUROCK UP TO 24" AFF, W/ ONE LAYER 5/8" FIRE RETARDANT TREATED PLYWOOD UP TO CEILING, W/ FRP FINISH. **OVER EXISTING FIRE RATED GYP. BOARD AT SERVICE AREA,** LAMINATE ONE LAYER 5/8" DUROCK UP TO CEILING W/ STAINLESS STEEL FINISH. **OVER EXISTING FIRE RATED GYP. BOARD AT DINING & RESTROOMS,** LAMINATE ONE LAYER 5/8" DUROCK UP TO 4'-4 3/4" AFF W/ ONE LAYER 5/8" GYP. BOARD (WATER RESISTANT AT RESTROOMS) FROM 4'-4 3/4" AFF TO CEILING. SEE FINISH PLAN FOR FINISH LOCATIONS
- 20. LOCATION OF WALL HEIGHT CHANGE - SEE DINING ELEVATION FOR WALL HEIGHT CLARIFICATION & SNEEZE GUARD PLACEMENT ABOVE
- 21. RECESS MOP SINK INTO FLOOR SO TOP LIP IS FLUSH W/ FINISHED FLOOR
- 22. PROVIDE PLUMBING CHASE WALL ALONG DEMISING WALL OR EXTERIOR WALL OF SPACE AS SHOWN
- 23. IF EXISTING LANDLORD-PROVIDED GYP. BOARD DOES NOT EXTEND TO PROPOSED CEILING HEIGHT AT EXTERIOR WALLS, G.C. TO PROVIDE GYP. BOARD ABOVE TO CEILING.
- 24. ALIGN PARTITIONS AS SHOWN
- 25. POSSIBLE HALF HEIGHT WALL @ BEVERAGE AREA SHOWN DASHED. CONFIRM USE W/ FIVE GUYS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION - SEE 3/A-8
- 26. WALL MOUNTED TANKLESS WATER HEATER SHOWN DASHED - MOUNT ABOVE SHELF OVER MOP SINK AND ENSURE MANUFACTURER'S REQUIRED CLEARANCES AT ALL SIDES. SEE SHELF DETAIL, SHEET A-8
- 27. EXISTING METAL BUILDING RIGID FRAME COLUMNS

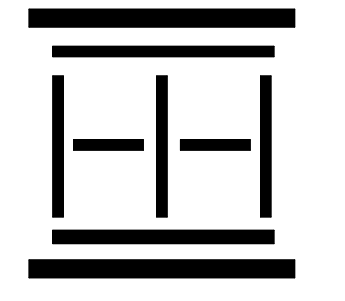


2 TYPICAL INTERIOR PARTITION
SCALE: 3/4" = 1'-0"

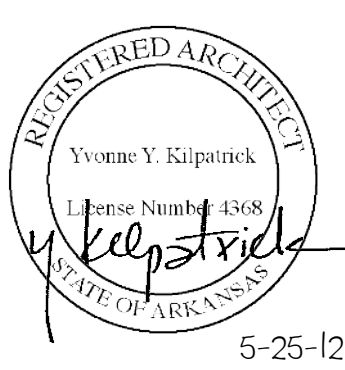


1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

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FIVE GUYS
BURGERS and FRIES
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FORT SMITH, ARKANSAS 72903

REVISIONS

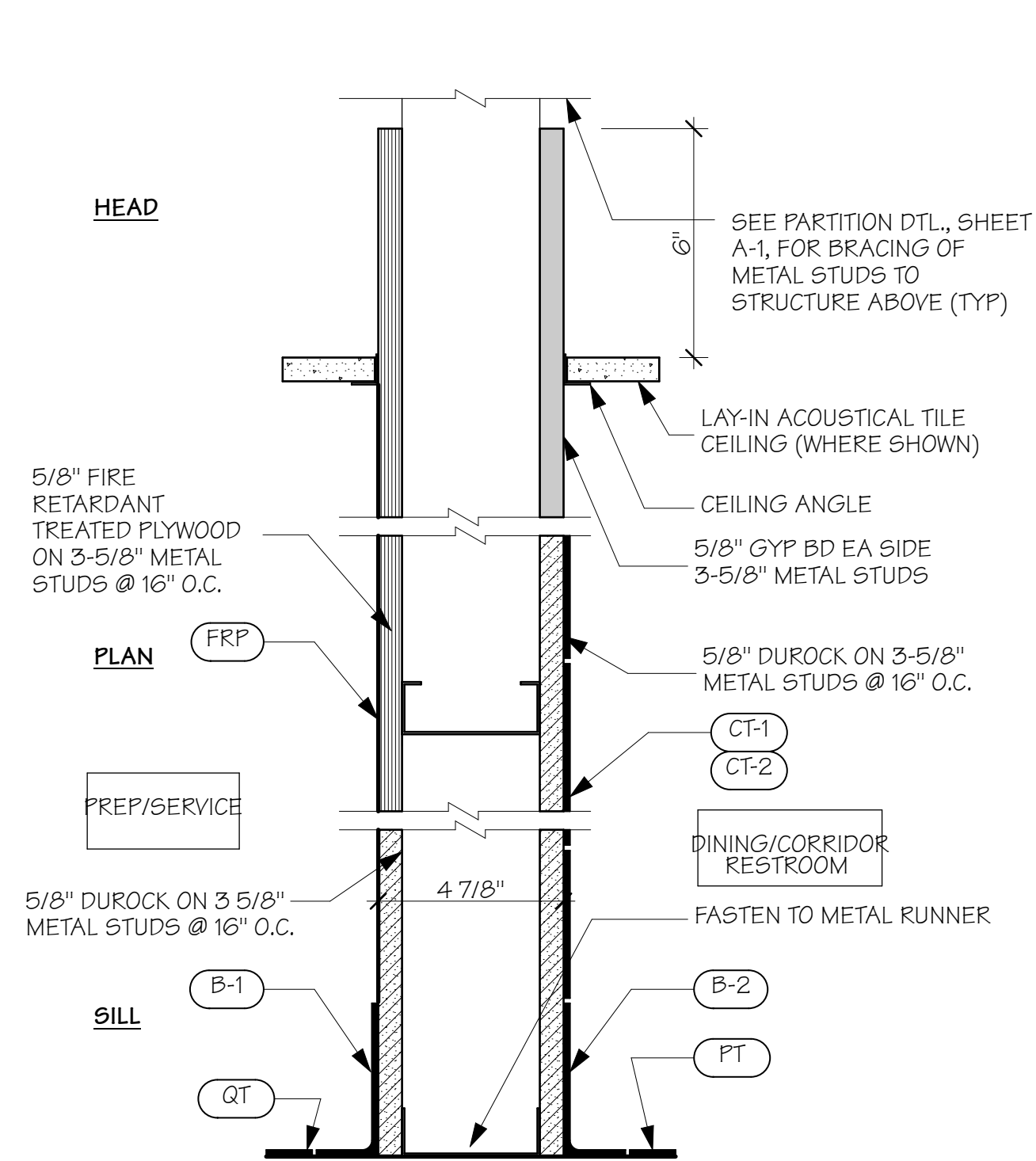
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SHEET TITLE
FLOOR PLAN

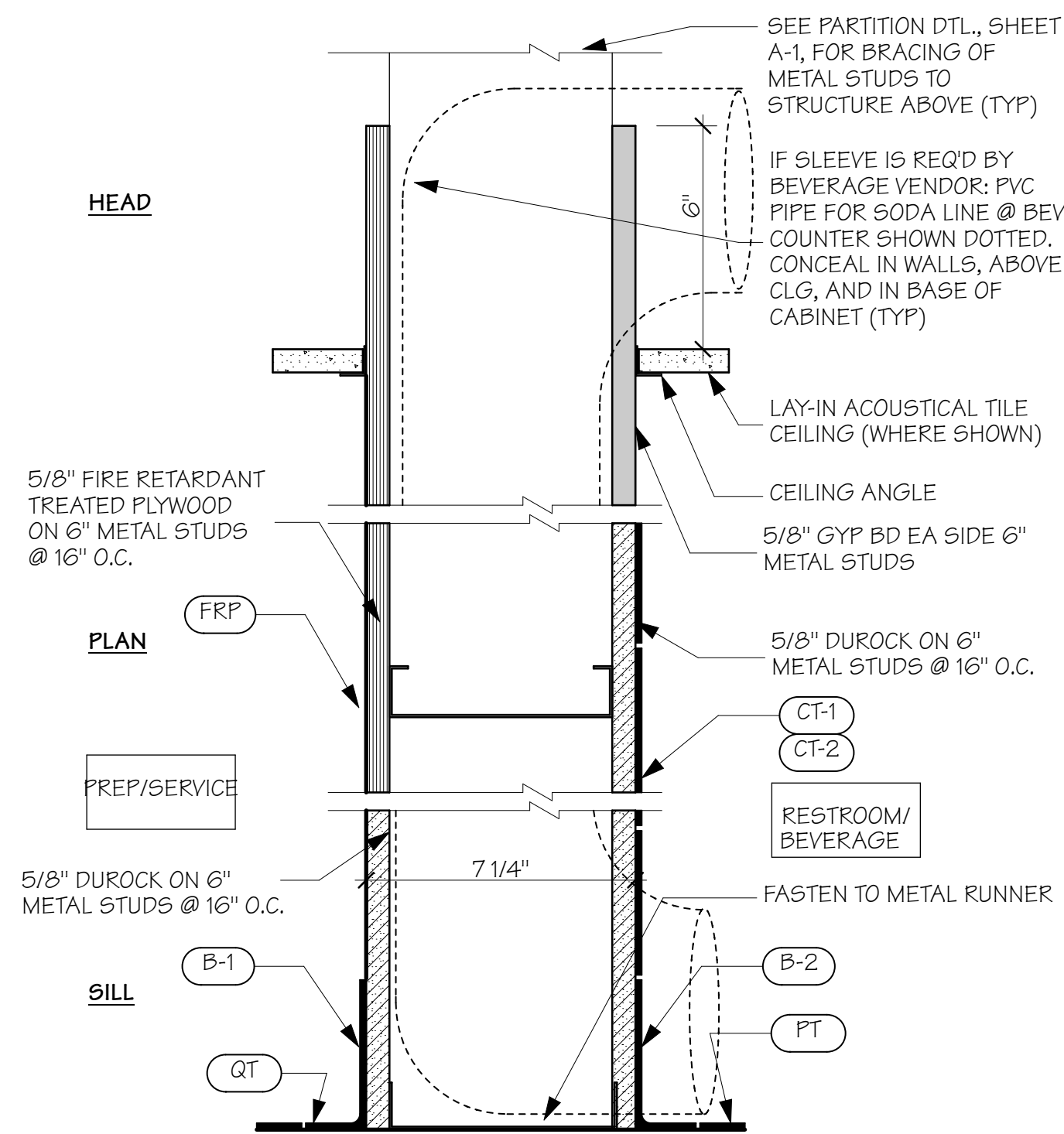
PROJECT NO. 1226	SHEET NO. A-1
DRAWN BY	
DATE 5-25-12	1 OF 10



NOTE: ALL SHEETING BEHIND TILES TO BE 5/8" DUROCK. ALL SHEETING BEHIND FRP TO BE 5/8" FIRE RETARDANT TREATED PLYWOOD (U.N.O.) WITH LOWEST 24" TO BE 5/8" DUROCK. ALL SHEETING BEHIND PAINTED SURFACES TO BE 5/8" GYPSUM BOARD. ALL GYPSUM BOARD IN RESTROOMS TO BE MOISTURE RESISTANT. SEE RCP FOR CEILING HEIGHTS.

PARTITION TYPE 'A1'

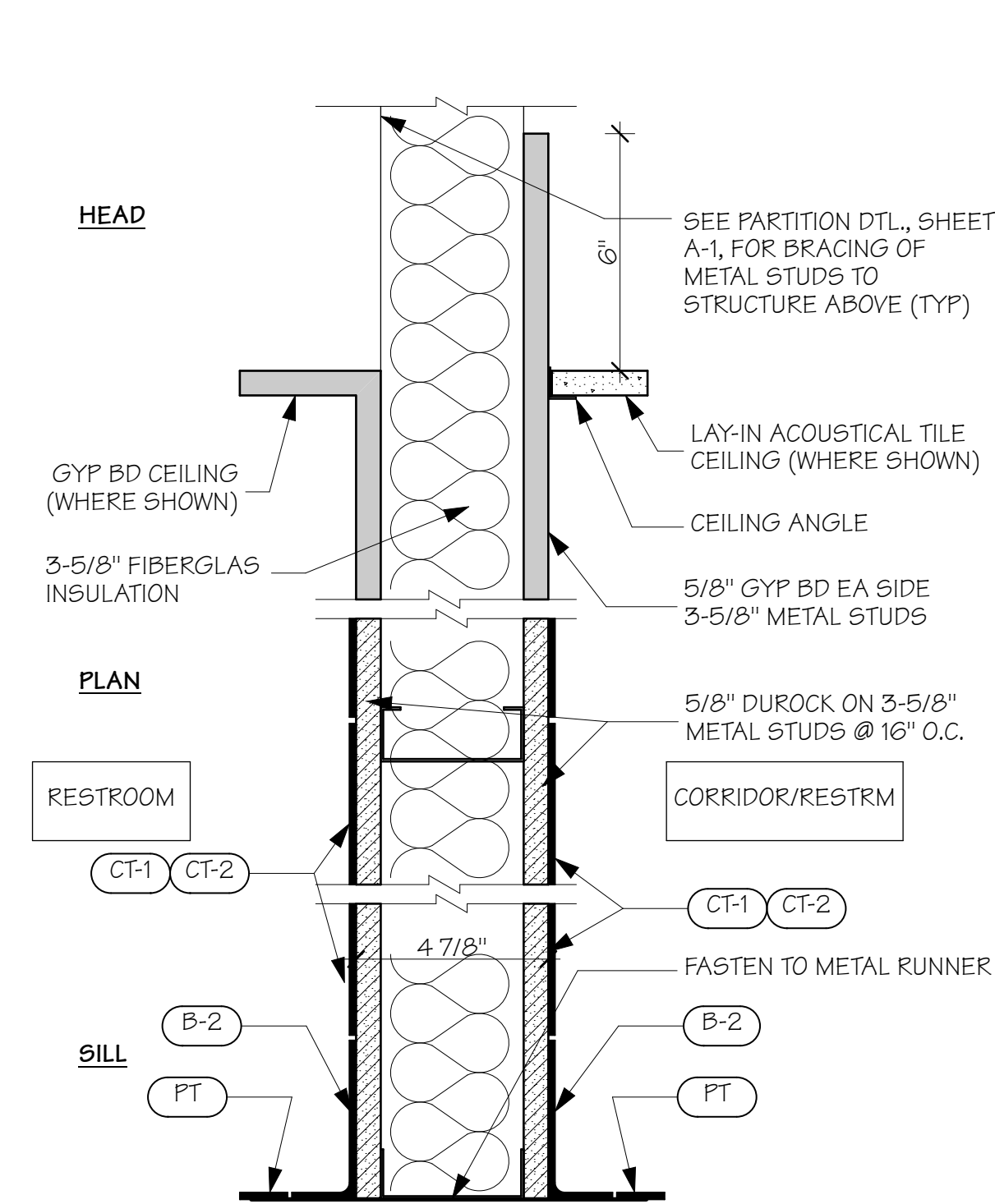
SCALE: 3" = 1'-0"



NOTE: ALL SHEETING BEHIND TILES TO BE 5/8" DUROCK. ALL SHEETING BEHIND FRP TO BE 5/8" FIRE RETARDANT TREATED PLYWOOD (U.N.O.) WITH LOWEST 24" TO BE 5/8" DUROCK. ALL SHEETING BEHIND PAINTED SURFACES TO BE 5/8" GYPSUM BOARD. ALL GYPSUM BOARD IN RESTROOMS TO BE MOISTURE RESISTANT. SEE RCP FOR CEILING HEIGHTS.

PARTITION TYPE 'A2'

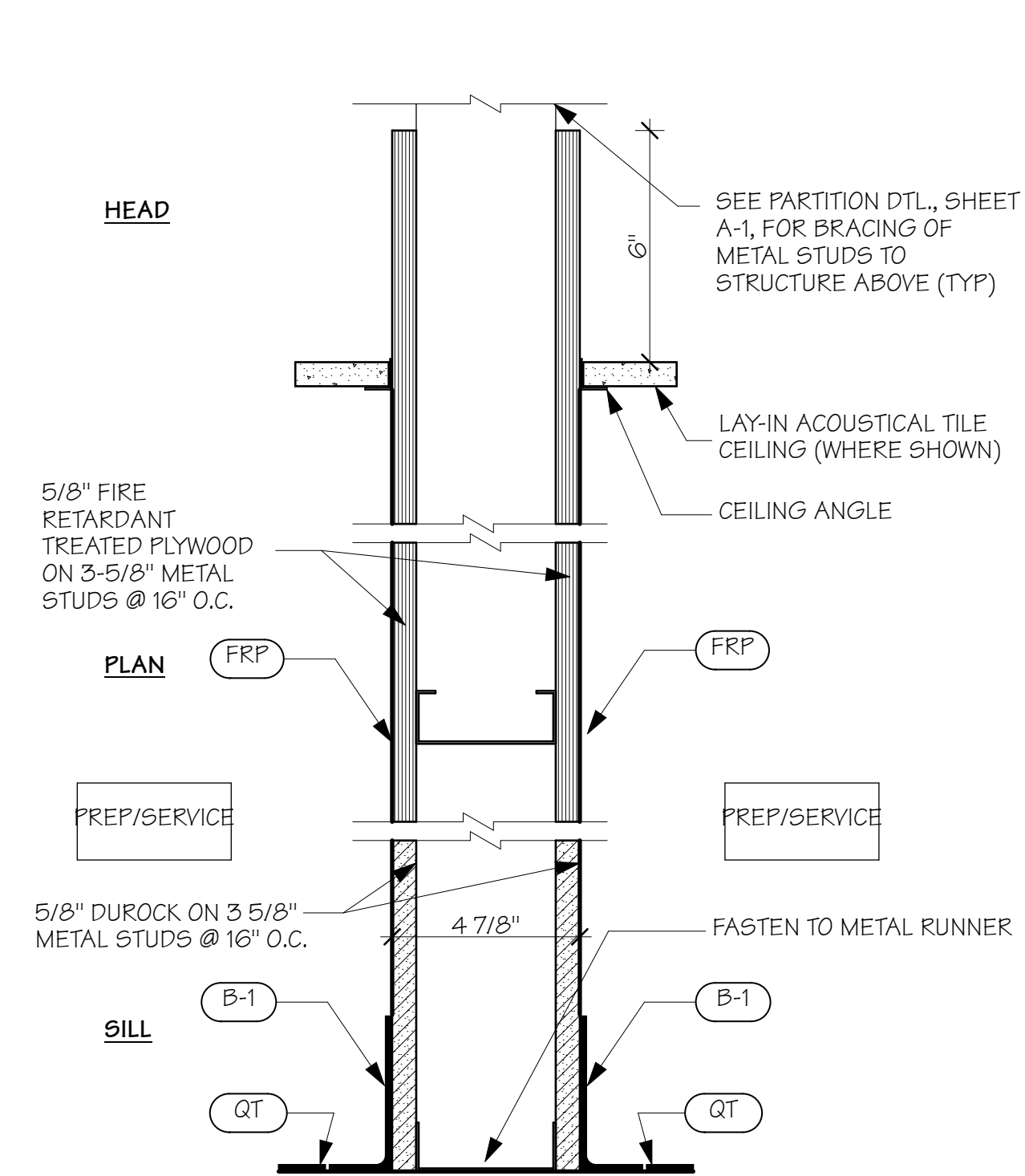
SCALE: 3" = 1'-0"



NOTE: ALL SHEETING BEHIND TILES TO BE 5/8" DUROCK. ALL SHEETING BEHIND PAINTED SURFACES TO BE 5/8" GYPSUM BOARD. ALL GYPSUM BOARD IN RESTROOMS TO BE MOISTURE RESISTANT. SEE RCP FOR CEILING HEIGHTS.

PARTITION TYPE 'B'

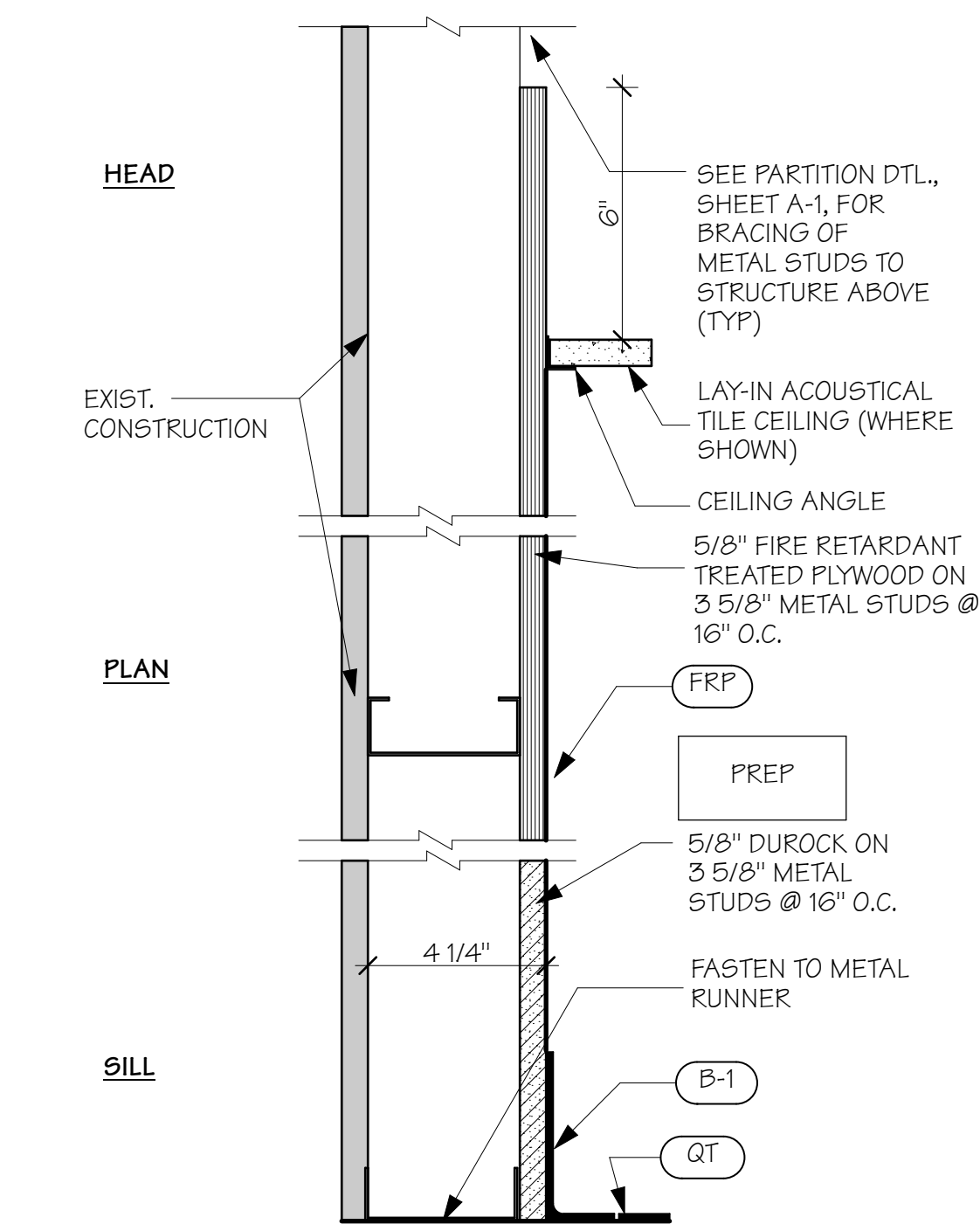
SCALE: 3" = 1'-0"



NOTE: ALL SHEETING BEHIND TILES TO BE 5/8" DUROCK. ALL SHEETING BEHIND FRP TO BE 5/8" FIRE RETARDANT TREATED PLYWOOD (U.N.O.) WITH LOWEST 24" TO BE 5/8" DUROCK. SEE RCP FOR CEILING HEIGHTS.

PARTITION TYPE 'C1'

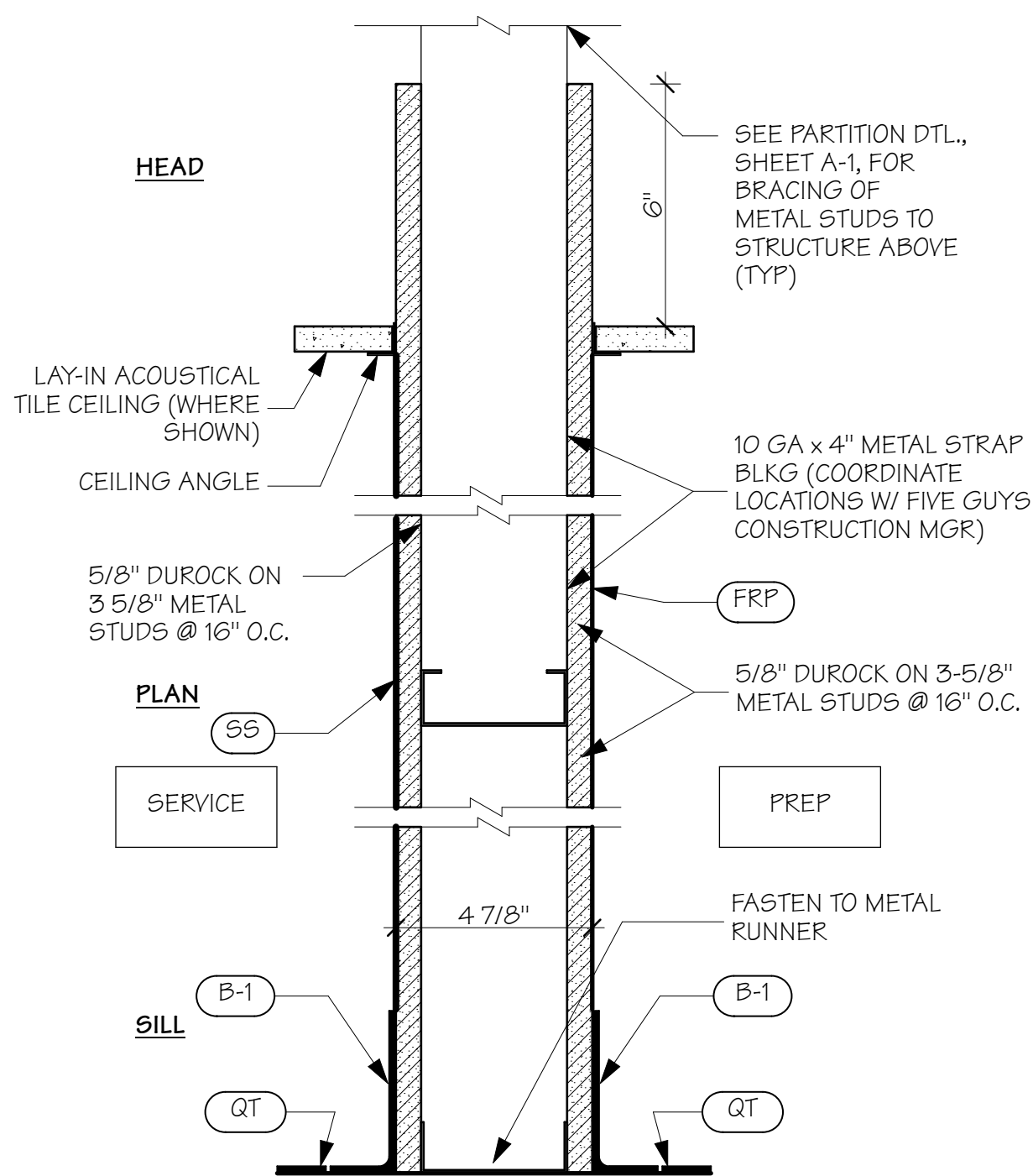
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NOTE: ALL SHEETING BEHIND TILES TO BE 5/8" DUROCK. ALL SHEETING BEHIND FRP TO BE 5/8" FIRE RETARDANT TREATED PLYWOOD (U.N.O.) WITH LOWEST 24" TO BE 5/8" DUROCK. ALL SHEETING BEHIND PAINTED SURFACES TO BE 5/8" GYPSUM BOARD. ALL GYPSUM BOARD IN RESTROOMS TO BE MOISTURE RESISTANT. SEE RCP FOR CEILING HEIGHTS.

PARTITION TYPE 'C2'

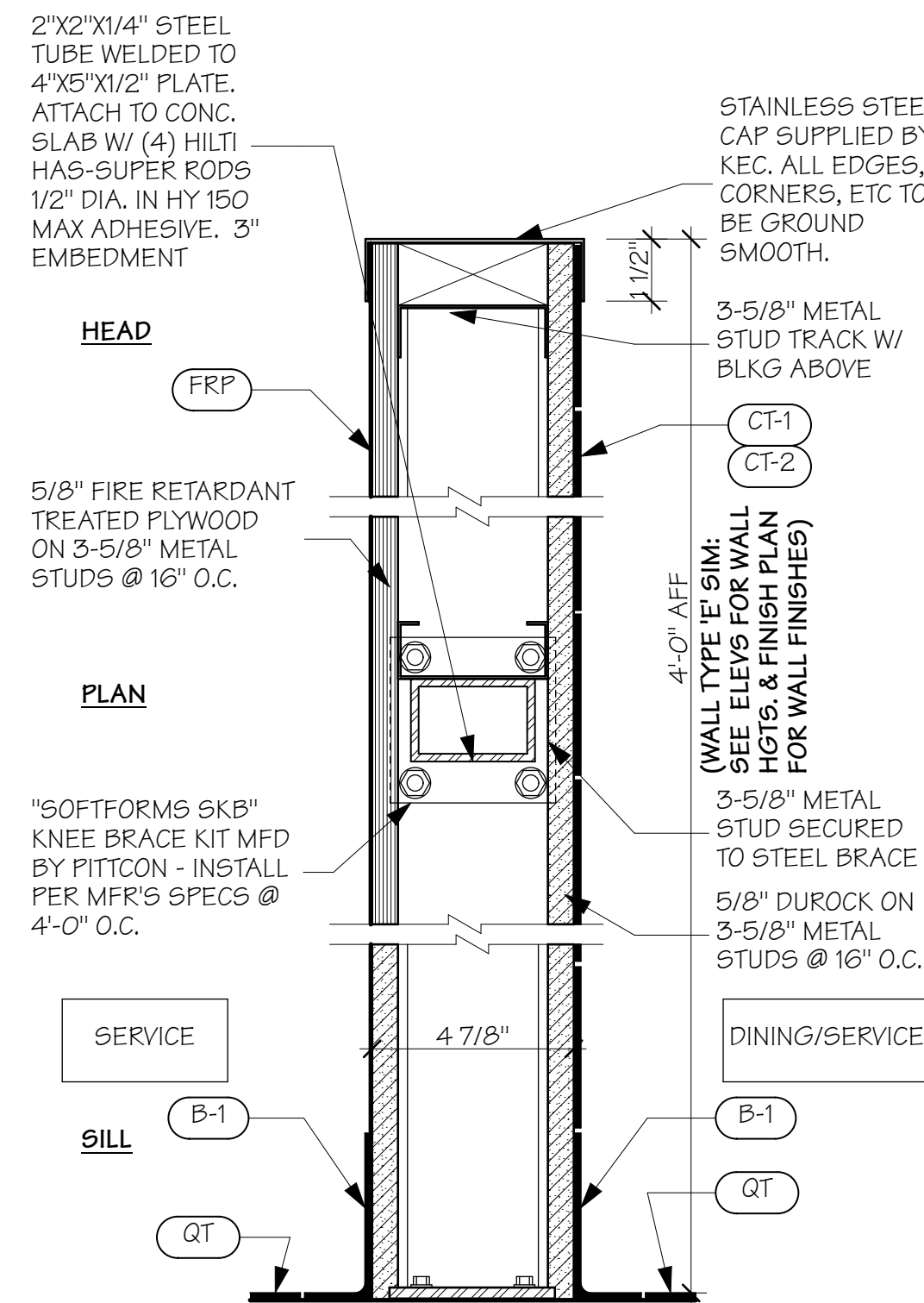
SCALE: 3" = 1'-0"



NOTE: ALL SHEETING BEHIND TILES TO BE 5/8" DUROCK. ALL SHEETING BEHIND FRP TO BE 5/8" FIRE RETARDANT TREATED PLYWOOD (U.N.O.) WITH LOWEST 24" TO BE 5/8" DUROCK. ALL SHEETING BEHIND PAINTED SURFACES TO BE 5/8" GYPSUM BOARD. SEE RCP FOR CEILING HEIGHTS.

PARTITION TYPE 'D'

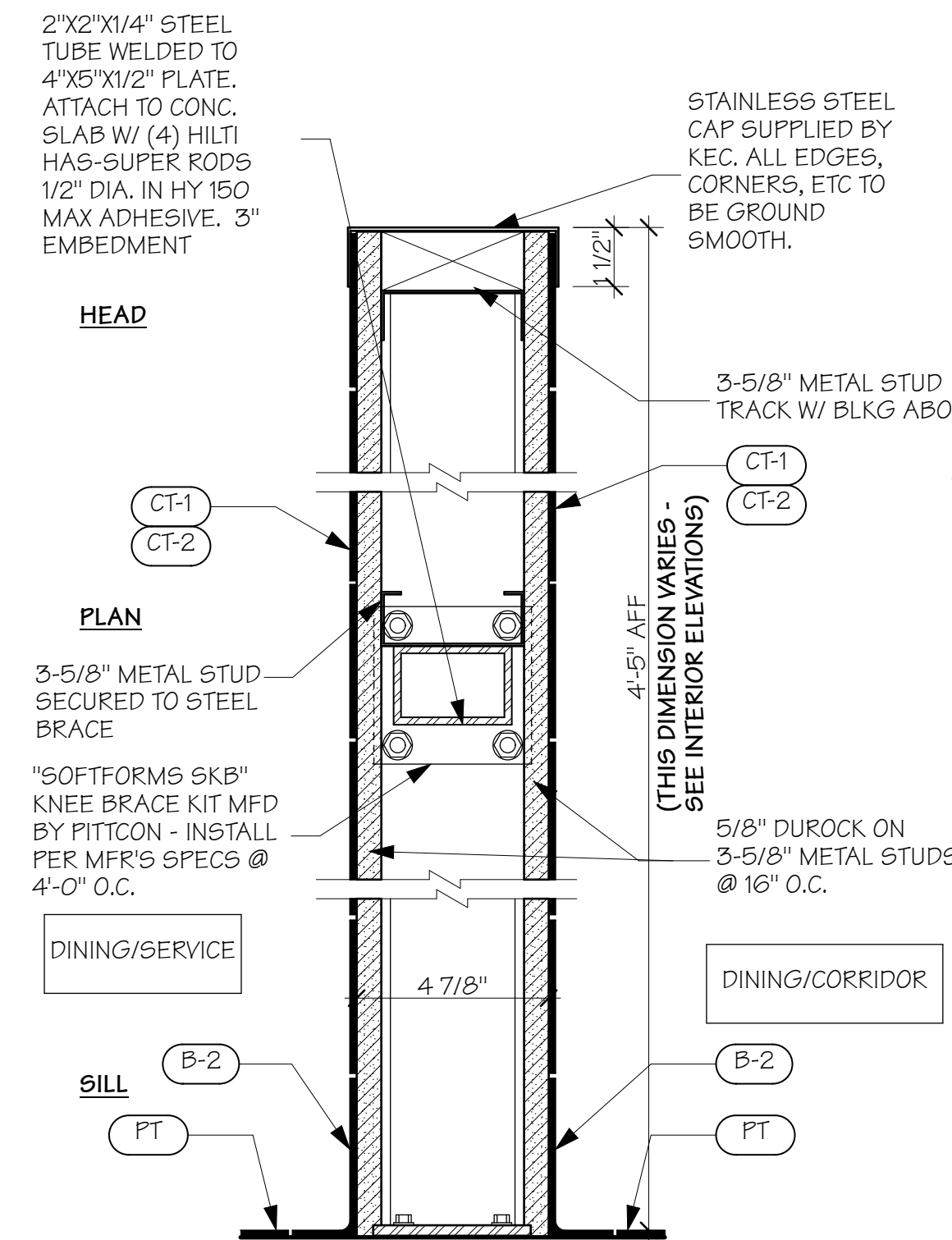
SCALE: 3" = 1'-0"



NOTE: ALL SHEETING BEHIND TILES TO BE 5/8" DUROCK. ALL SHEETING BEHIND FRP TO BE 5/8" FIRE RETARDANT TREATED PLYWOOD (U.N.O.) WITH LOWEST 24" TO BE 5/8" DUROCK. FINISH ENDS WITH CT-1 & CT-2.

PARTITION TYPE 'E'

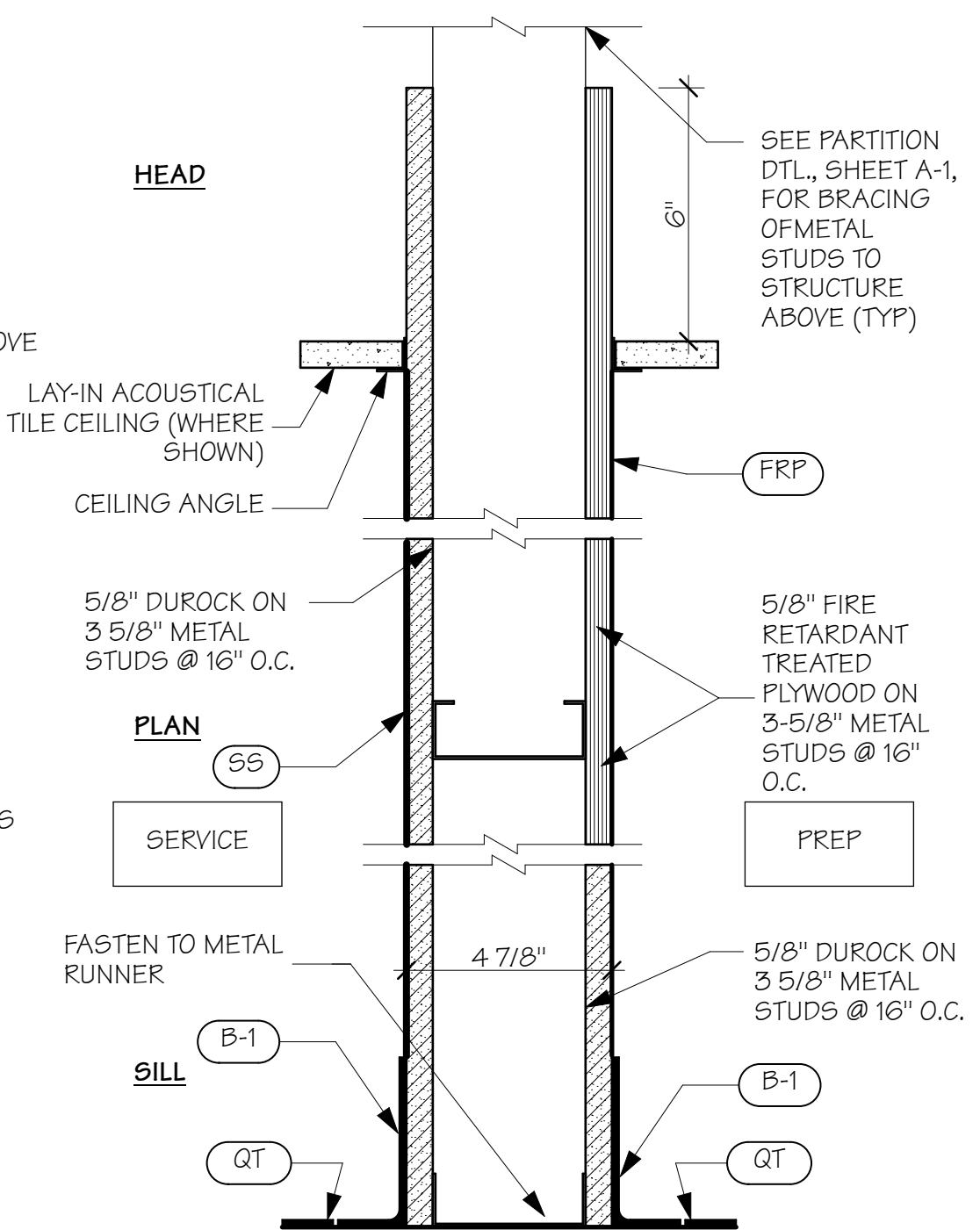
SCALE: 3" = 1'-0"



NOTE: ALL SHEETING BEHIND TILES TO BE 5/8" DUROCK. ALL SHEETING BEHIND FRP TO BE 5/8" FIRE RETARDANT TREATED PLYWOOD (U.N.O.) WITH LOWEST 24" TO BE 5/8" DUROCK. FINISH ENDS WITH CT-1 & CT-2.

PARTITION TYPE 'F'

SCALE: 3" = 1'-0"



NOTE: ALL SHEETING BEHIND TILES TO BE 5/8" DUROCK. ALL SHEETING BEHIND FRP TO BE 5/8" FIRE RETARDANT TREATED PLYWOOD (U.N.O.) WITH LOWEST 24" TO BE 5/8" DUROCK. SEE RCP FOR CEILING HEIGHTS.

PARTITION TYPE 'H'

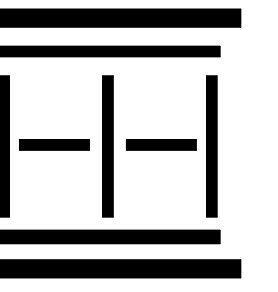
SCALE: 3" = 1'-0"

STUD SPACING @ PARTITIONS:
 0'-0" TO 15'-8" STUDS ARE @ 16" ON CENTER
 15'-8" TO 17'-10" STUDS ARE @ 12" ON CENTER
ALL STUDS ARE 3-5/8" OR 6" (WHERE INDICATED) 20 GAUGE MIN.

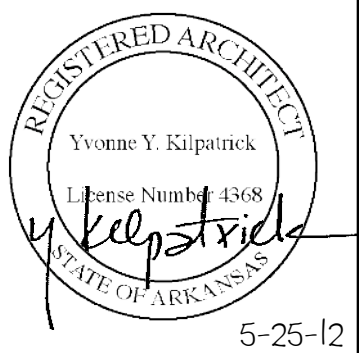
- PARTITION NOTES:**
- NO COMBUSTIBLE MATERIALS (SHEETING OR BLOCKING) ARE PERMITTED WITHIN 18" OF EXHAUST HOOD AND ITS ASSOCIATED DUCTWORK.
 - PROVIDE FIRE RETARDANT TREATED (F.R.T.) BLOCKING IN ALL ENCLOSED SPACES AS REQ'D WHETHER INDICATED OR NOT IN THESE DOCUMENTS.
 - ALL BLOCKING IS TO BE CONCEALED.
 - ALL PLYWOOD INSTALLED AS SHEETING, DIRECTLY AGAINST METAL STUDS, SHALL BE FIRE RETARDANT TREATED WOOD.
 - ALL WALL LOCATIONS TO BE FULLY CHALKED-OUT ON THE SLAB (INCLUDING DOOR LOCATIONS) AND APPROVED BY FRANCHISEE BEFORE PROCEEDING WITH WALL CONSTRUCTION.
 - PROVIDE DIAGONAL METAL STUD BRACING, AS SHOWN ON PARTITION DETAIL SHEET A-1, TO STRUCTURE ABOVE.

PARTITION TYPES

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5-25-12

FIVE GUYS
 BURGERS and FRIES
 7110 ROGERS AVENUE, SUITE F
 FORT SMITH, ARKANSAS 72903

REVISIONS

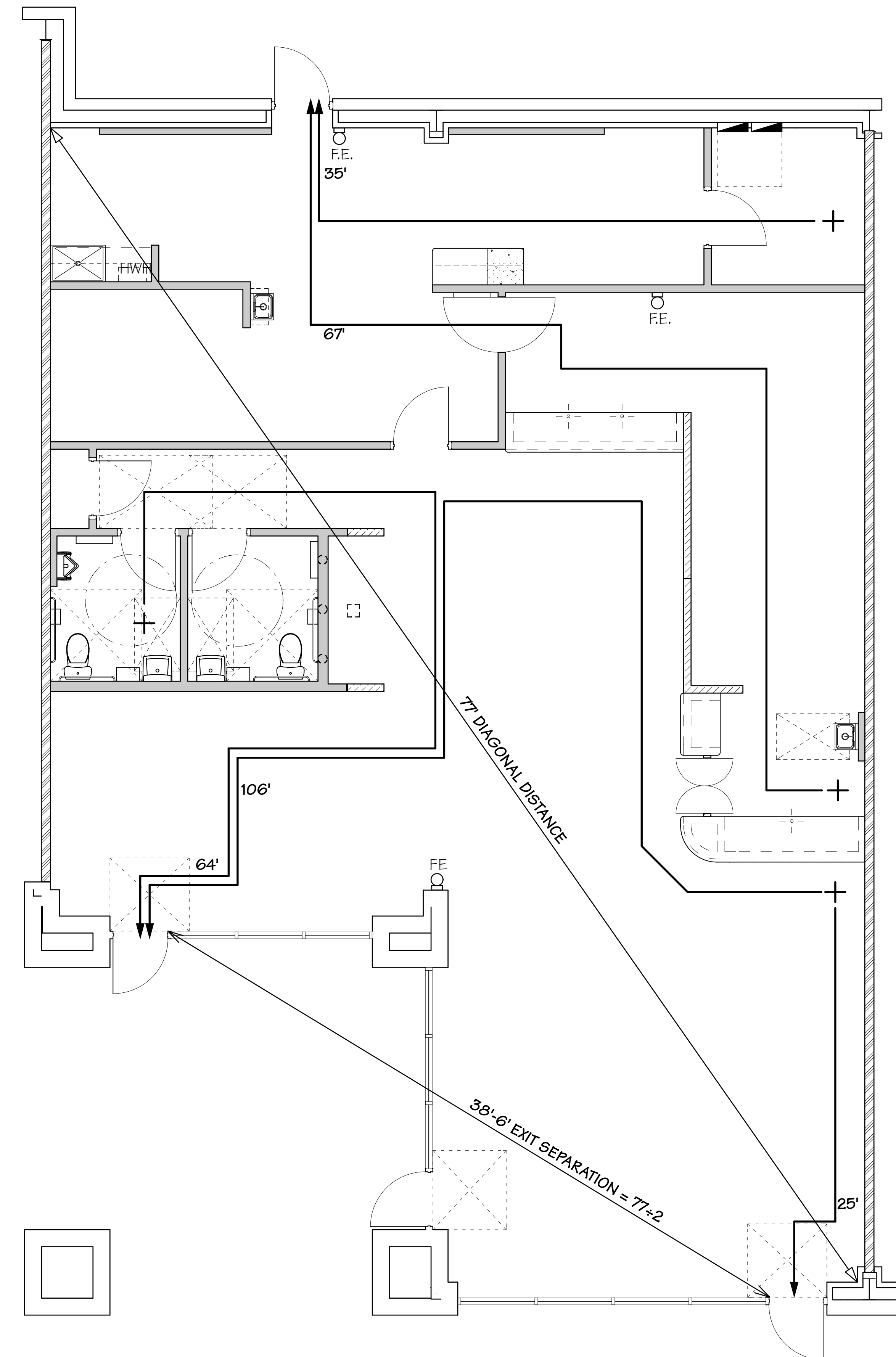
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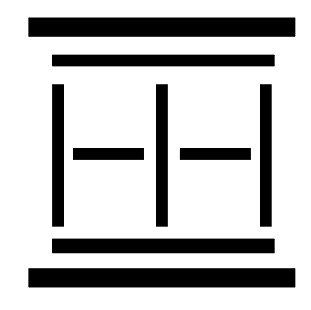
SHEET TITLE
PARTITION TYPES

PROJECT NO. 1226	SHEET NO. A-1.1
DRAWN BY	
DATE 5-25-12	2 OF 10

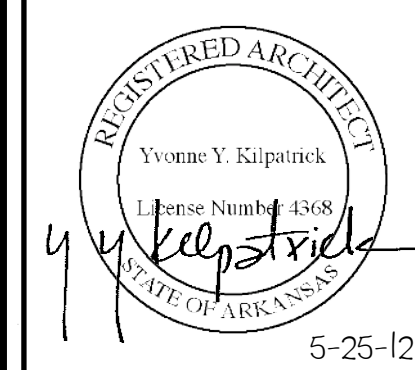


1 LIFE SAFETY PLAN
 A-1.2 SCALE: 1/4" = 1'-0"

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5-25-12

FIVE GUYS
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 FORT SMITH, ARKANSAS 72903

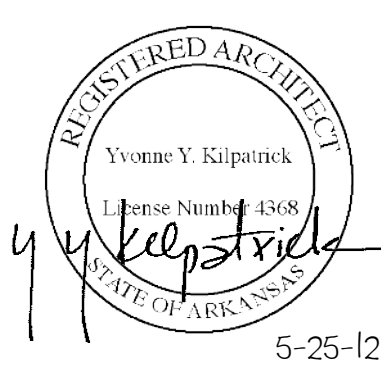
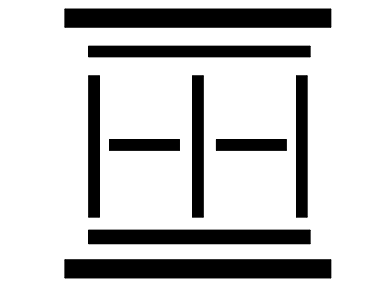
REVISIONS		
NO.	DATE	REVISION

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SHEET TITLE
 LIFE SAFETY PLAN

PROJECT NO. 1226	SHEET NO. A-1.2
DRAWN BY	3 OF 10
DATE 5-25-12	



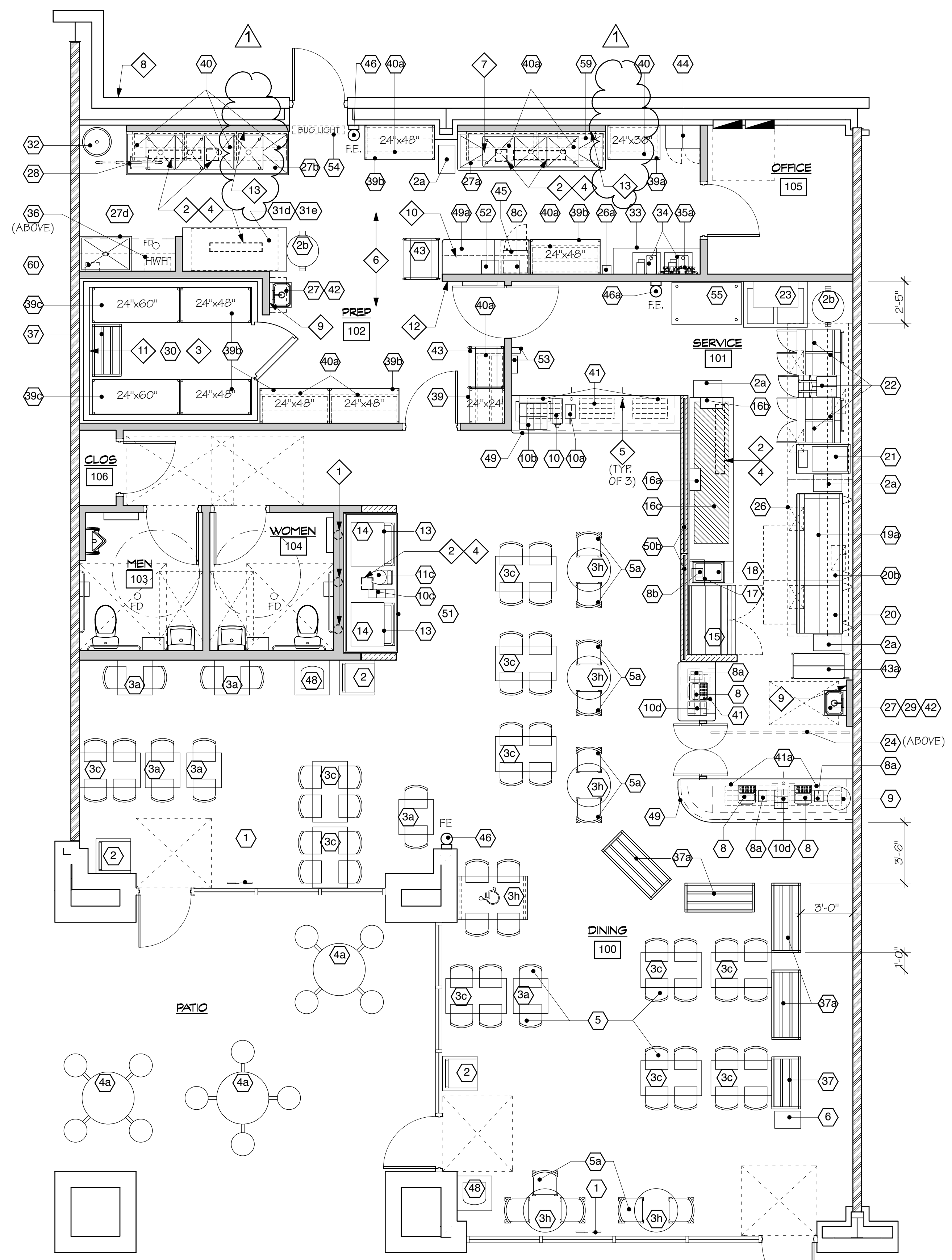
REVISIONS		
NO.	DATE	REVISION
1	8-15-12	Owner Revisions

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SHEET TITLE
EQUIPMENT PLAN

PROJECT NO. 1226	SHEET NO. A-2
DRAWN BY	DATE
DATE 5-25-12	4 OF 10

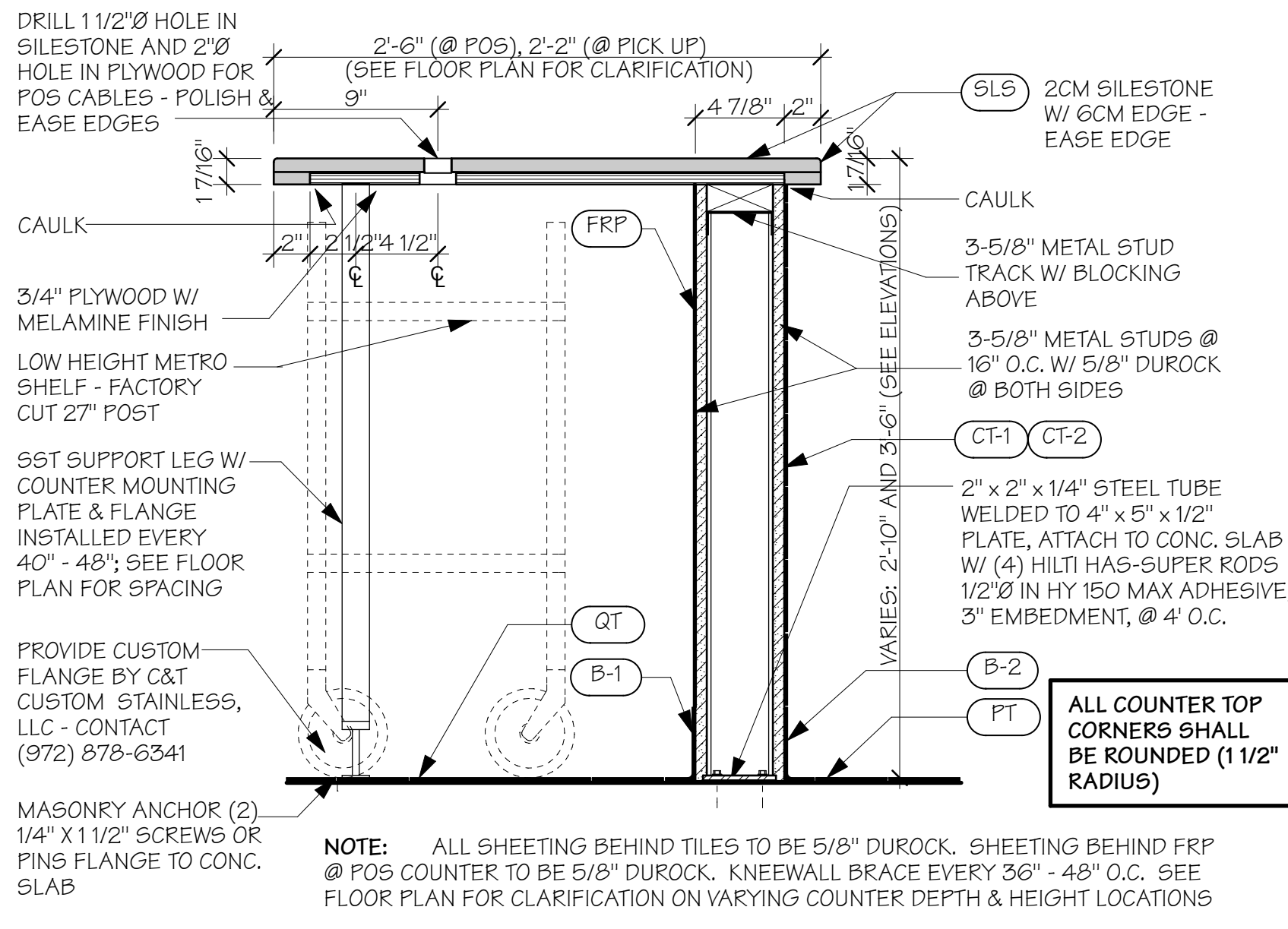


1 EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

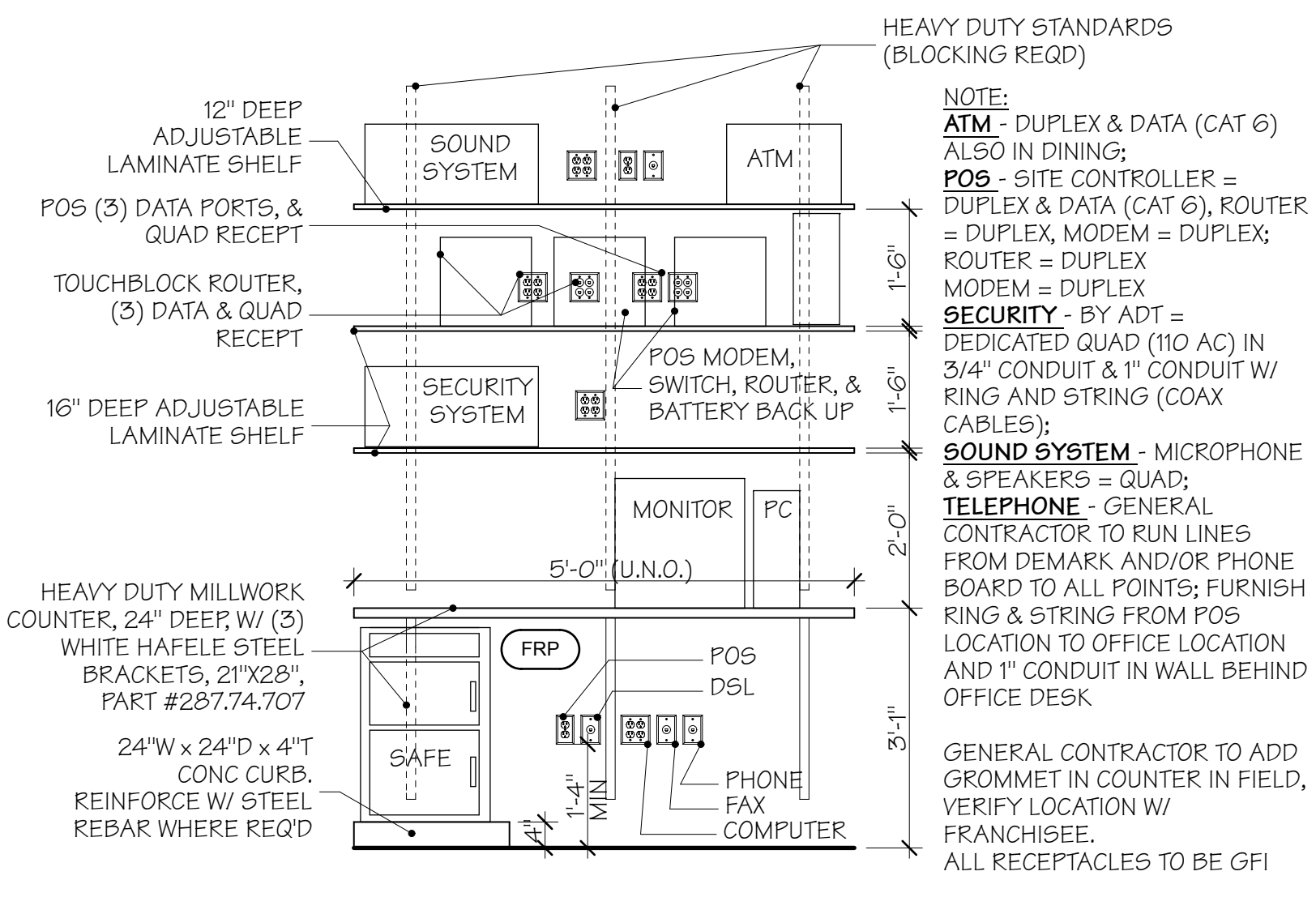
EQUIPMENT NOTES:

- GENERAL:**
- REFER TO EQUIPMENT SCHEDULE, SHEET A-3
 - G.C. TO VERIFY KITCHEN EQUIPMENT REQUIREMENTS, LOCATIONS, ETC. WITH KEC CONSULTANT PRIOR TO INSTALLATION.
 - ALL EQUIPMENT SPECIFIED, INCIDENTAL AND CUSTOM, WHETHER NEW OR RECONDITIONED TO INCLUDE ALL TENANT APPROVED OR PROVIDED SUBSTITUTES, SHALL BE OF COMMERCIAL QUALITY & SHALL MEET ALL APPLICABLE IBC, NSF, & UL STANDARDS.
 - ALL SHELVING, WORK TABLES, AND EQUIPMENT STANDS SHALL BE STAINLESS STEEL & SHALL MEET APPLICABLE NSF STANDARDS.
 - ALL FLOOR MOUNTED EQUIPMENT SHALL BE PLACED ON NSF APPROVED 6" LEGS OR NSF APPROVED CASTERS. ALL COUNTER MOUNTED EQUIPMENT IN EXCESS OF 80 POUNDS SHALL BE PLACED ON NSF APPROVED 4" LEGS.
 - NSF APPROVED STAINLESS STEEL SHELVING OR DUNNAGE RACKS IN WALK-IN COOLER.
 - HANGING STORAGE RACK SHALL BE PROVIDED NEXT TO MOP SINK FOR BROOMS AND MOPS. ALL CLEANING SUPPLIES SHALL BE STORED SEPARATELY FROM ALL FOOD PRODUCTS.
 - SURFACE MOUNTED LIQUID SOAP, PAPER TOWEL DISPENSERS, AND WASTE RECEPTACLE SHALL BE PROVIDED AT ALL HAND SINKS. SEE COVER SHEET FOR ADA MOUNTING HEIGHTS.
 - SPASH GUARDS SHALL BE PROVIDED WHERE SINKS ARE WITHIN 6" OF POTENTIAL SPLASH CROSS
 - 3 COMPARTMENT SINKS TO HAVE 2 FAUCETS WITH ONE PRE-RINSE NOZZLE. 4 COMPARTMENT SINKS TO HAVE 2 FAUCETS AND 2 PRE-RINSE NOZZLES.
 - OUTSIDE CORNERS IN KITCHEN TO RECEIVE STAINLESS STEEL GUARDS, BASE TO 60" AFF.
 - G.C. TO PROVIDE ADDITIONAL BLOCKING & REINFORCEMENT AT DRINK COUNTER CASEWORK FOR SUPPORT OF COUNTER TOP EQUIPMENT - CONFIRM EQUIPMENT WEIGHT W/ VENDOR
 - PROVIDE DIAMOND PLATE ON EXPOSED EXTERIOR SIDES OF WALK-IN COOLER. PROVIDE CLOSURE STRIPS WHERE COOLER ADJUTS ADJACENT WALL.
 - PROVIDE ALL INDOOR TABLES W/ TABLE SHOX. FRANKLIN MACHINE PRODUCTS, 121-1147, GLIDE, TABLE SHOX (1/4-20)
 - RESTRAINING CABLES MUST BE INSTALLED ON ALL GAS EQUIPMENT
 - G.C. SHALL CONFIRM SOUND SYSTEM REQUIREMENTS WITH FRANCHISEE AND THIRD PARTY VENDOR
 - G.C. SHALL VERIFY AND PROVIDE ALL REQUIRED STRUCTURAL SUPPORT FOR HOOD, EXHAUST FAN, AND MUA
 - FINAL LOCATIONS AND MOUNTING HEIGHTS FOR ALL WALL MOUNTED SHELVING SHALL BE CONFIRMED WITH THE DISTRICT MANAGER. G.C. SHALL NOT INSTALL ANY WALL MOUNTED SHELVING UNTIL ON SITE WALK- THROUGH WITH FIVE GUYS OPERATIONS MGR.

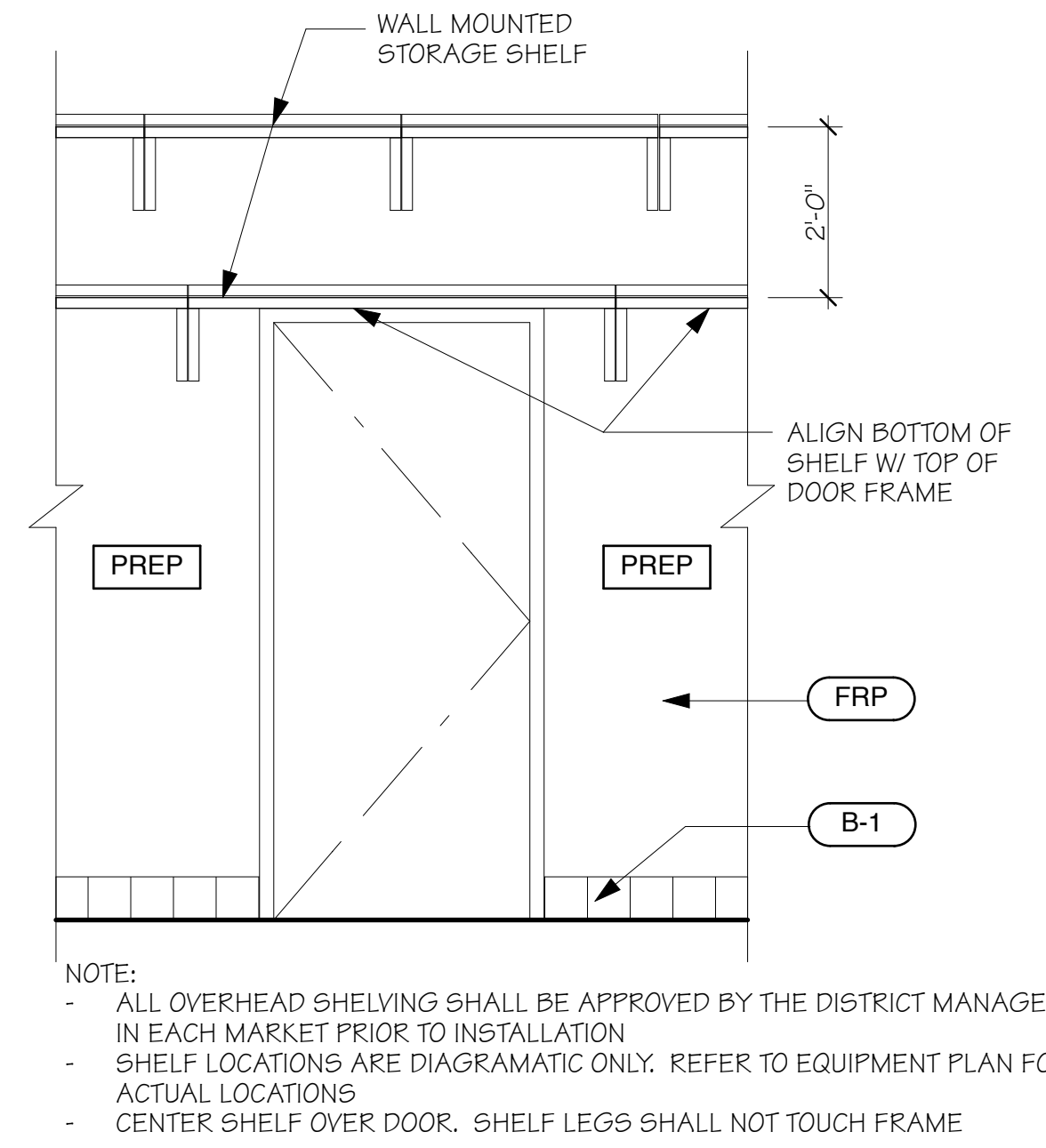
- CONFIRM NEED FOR AND LOCATION OF 4" PVC SLEEVE, CONCEALED IN WALL FOR SODA LINE FROM ABOVE CEILING EQUIPMENT VENDOR. SEE "ELEVATION @ BEVERAGE STATION".
- TRENCH DRAIN/AND OR FLOOR SINK SHOWN DASHED (TYP). G.C. SHALL CONFIRM THAT EQUIPMENT LEGS WILL CLEAR DRAINS, PRIOR TO DRAIN INSTALLATION
- ALL WALK-IN COOLER DIMENSIONS TO BE COORDINATED WITH MANUFACTURER'S SHOP DRAWINGS.
- SEE FLOOR PLAN FOR FLOOR / TRENCH DRAIN & FLOOR SINK DIMENSIONS
- FRANCHISEE SHALL FIELD VERIFY CLEARANCE BETWEEN COUNTER SUPPORT POSTS PRIOR TO ORDERING UNDER-COUNTER SHELVING (TYP)
- IF CEILING HEIGHT ALLOWS, FRANCHISEE SHALL PROVIDE AND G.C. SHALL INSTALL SECOND ROW OF WALL SHELVING 2'-0" ABOVE FIRST TIER SHOWN ON EQUIPMENT PLAN (TYP)
- PROVIDE ADJUSTABLE POT RACK HOOKS ABOVE THREE COMPARTMENT DISH SINK
- APPROXIMATE LOCATION FOR NEW ACCESS PORTS FOR CO2 TANK AND GREASE RECYCLING TAN (WHERE APPLICABLE). COORDINATE EXACT LOCATIONS AND HEIGHTS WITH FRANCHISEE PRIOR TO INSTALLATION.
- AT SERVICE AREA AND PREP AREA HAND SINKS. SEE ACCESSORY SCHEDULE SHEET A-6. SEE COVER SHEET FOR ADA REQUIRED MOUNTING HEIGHTS.
- ADJUSTABLE, WHITE MELAMINE SHELVING ABOVE DESK SHOWN DASHED; SEE ELEVATION FOR CLARIFICATION.
- PROVIDE HOSE BIBBS IN REAR WALL OF COOLER.
- APPROXIMATE LOCATION OF MUZAK VOLUME CONTROL.
- AT STAINLESS STEEL WALL FINISH BEHIND COMPARTMENT SINKS (SEE FINISH PLAN), G.C. SHALL PROVIDE STAINLESS STEEL "HOOD" LAPPING OVER SINK BACKSPLASH - CONTINUE FOR ENTIRE LENGTH OF COMPARTMENT SINK



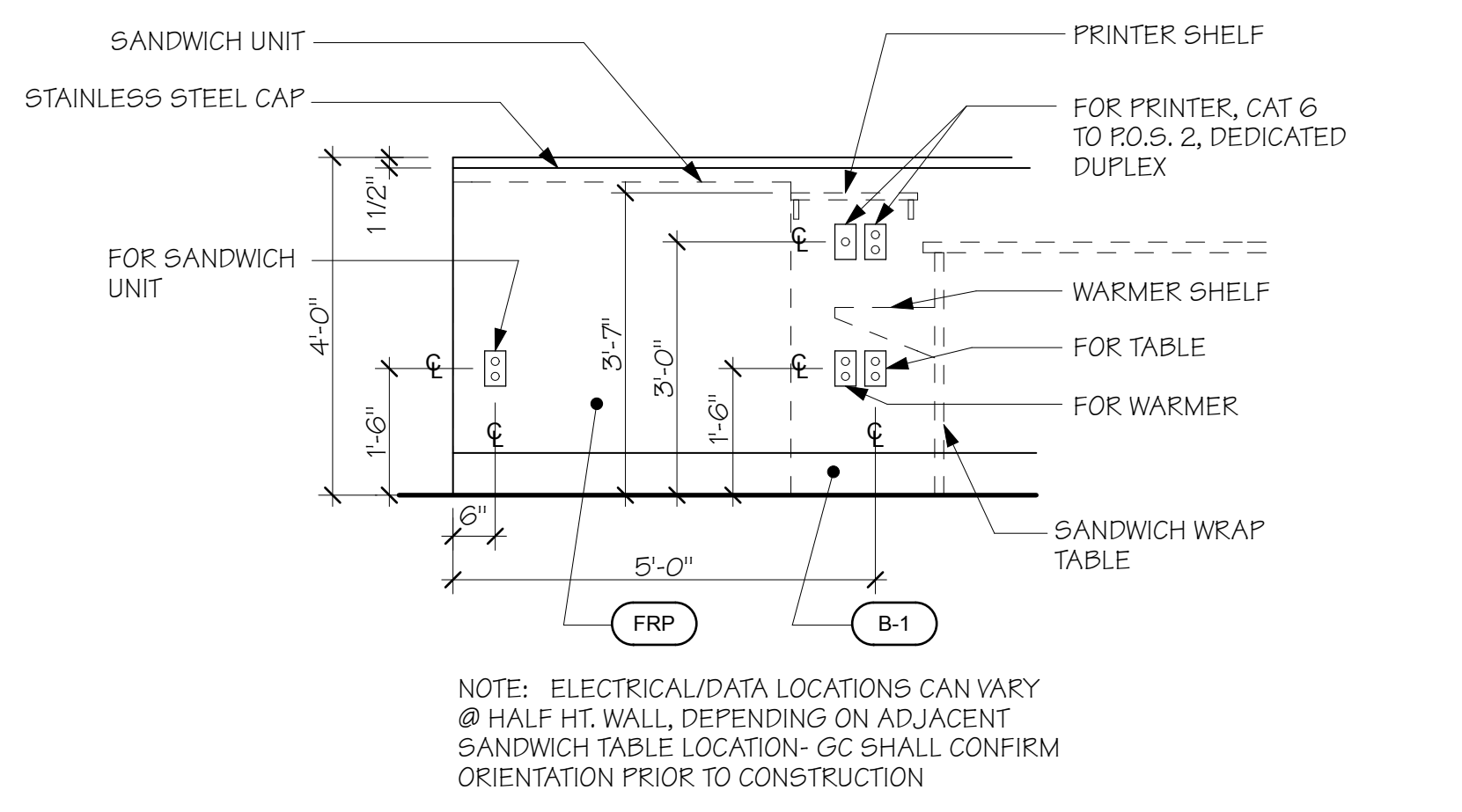
2 SECTION @ POS & PICKUP
SCALE: 1 1/2" = 1'-0"



5 ELEV @ MANAGER'S DESK
SCALE: 1/2" = 1'-0"



4 WALL SHELF LOCATIONS
SCALE: 1/2" = 1'-0"



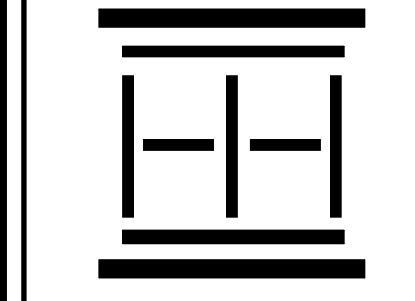
3 ELEV @ SANDWICH WALL
SCALE: 1/2" = 1'-0"

MARK	DESCRIPTION	MANUFACTURER	MODEL	SIZE	EQUIP		REMARKS
					FURNISHED BY:	INSTALLED BY:	
1	OPEN SIGN				OWNER	GC	NEON SIGN HUNG FROM CEILING-COORD. LOCATION w/ FRANCHISEE
2	TRASH BIN (DINING)	CONTINENTAL	5735BN	20" x 20" x 39.5"	OWNER	GC	DINING
2a	TRASH BIN (KITCHEN/PREP/RR, SLIM)	CONTINENTAL	8323BN	20" x 11" x 30"	OWNER	GC	LIDS REQ'D IN PREP & RESTROOMS
2b	TRASH BIN (KITCHEN/PREP, ROUND)	HUSKEE	3200RD	27 3/8" x 22"	OWNER	GC	KITCHEN & PREP AREA
3a	TABLE & BASE (24" X 24")	NEXT DAY GOURMET	926824, MOD#201145	24" X 42"	OWNER	GC	
3b	TABLE & BASE (30" X 30")	NEXT DAY GOURMET	926746, MOD#201149	30" X 30"	OWNER	GC	WALNUT OAK, BLACK COL. & BASE 933713
3c	TABLE & BASE (24" X 42")	NEXT DAY GOURMET	927085, MOD#201195	24" X 42"	OWNER	GC	
3d	TABLE & BASE (30" X 42")	NEXT DAY GOURMET	927088, MOD#201197	30" X 42"	OWNER	GC	WALNUT OAK, BLACK COL. & BASE 933743
3e	TABLE & BASE (24" ROUND, BAR HGT)	NEXT DAY GOURMET	926862, MOD#201143	24" DIA X 41 3/4" H	OWNER	GC	
3f	TABLE & BASE (30" ROUND, BAR HGT)	NEXT DAY GOURMET	926727, MOD#201147	30" DIA X 41 3/4" H	OWNER	GC	WALNUT OAK, BLACK COL. & BASE 933757
3g	TABLE & BASE (36" ROUND, BAR HGT)	NEXT DAY GOURMET	926783, MOD#201151	36" DIA X 41 3/4" H	OWNER	GC	COL. & BASE 933760
3h	TABLE & BASE (30" X 48", ADA)	NEXT DAY GOURMET	927134, MOD#201199	30" X 48"	OWNER	GC	COL. & BASE (2) 933745, 36" BETWEEN LEGS
4	UMBRELLA	TUUCI	6.5 SQ BAY MASTER	6'-6"W X 7'-8"H	VENDOR	GC	GAL STEEL BASE - 75 LBS
4a	OUTDOOR 36" ROUND TABLE W/ SEATS	LEISURE CRAFT INC.	R36XWCP - PERF	6'-7 5/8"W X 2'-6"H	OWNER	GC	OUTDOOR PATIO - STANDARD TABLE
4b	OUTDOOR 46" ROUND TABLE W/ SEATS	LEISURE CRAFT INC.	T46ROP - PERF	6'-9"W X 2'-5 1/4"H	OWNER	GC	OUTDOOR PATIO - ALTERNATE TABLE
4c	OUTDOOR 46" ADA TABLE W/ SEATS	LEISURE CRAFT INC.	T46ROP - ADA - PERF	6'-9"X5'-3.5"X2'-5.25"H	OWNER	GC	OUTDOOR PATIO CHAIR
4d	OUTDOOR STACKABLE CHAIR	LEISURE CRAFT INC.	C1 - PERF	21 1/2"W X 30"H	OWNER	GC	OUTDOOR PATIO CHAIR
4e	OUTDOOR 36" SQUARE TABLE	LEISURE CRAFT INC.	SQ36TAB30 - PERF	36"W X 30"H	OWNER	GC	OUTDOOR PATIO TABLE
4f	OUTDOOR 46" ADA SQUARE TABLE	LEISURE CRAFT INC.	SQ46P-ADA-PERF W/O SEATS	46" X 46" X 29"H	OWNER	GC	OUTDOOR PATIO ADA TABLE
5	FIVE GUYS SIT DOWN CHAIR	STEELGRAIN			OWNER	GC	DINING
5a	FIVE GUYS BARSTOOL	STEELGRAIN			OWNER	GC	DINING (BAR HEIGHT)
6	PEANUT BOX				OWNER	GC	
7	CORK BOARD				OWNER	GC	
7a	DRY ERASE BOARD				OWNER	GC	
8	POS SYSTEM	RADIANT SYSTEMS	T-160	12" X 13.5" X 13"	OWNER	GC	PRINTER, 16" CASH DRAWER
8a	EPSON POS PRINTER	EPSON	TMT-88	7.64" X 5.98" X 5.83"	OWNER	GC	
8b	EPSON REMOTE TICKET PRINTER	EPSON	TMT-88	7.64" X 5.98" X 5.83"	OWNER	GC	
8c	POS SERVER	RADIANT	S4000	9.65" X 12.4" X 3.47"	OWNER	GC	
9	BOTTLED WATER CONTAINER	HAIER	BC 110	19.5" X 22" X 38.5"	VENDOR	VENDOR	
10	CONDIMENT CUP DISPENSER	SAN JAMAR	C9002	10" X 5" X 12"	OWNER	GC	
10a	KETCHUP DISPENSER	SERVER	SE 07000	17-3/8"X7-1/2"X14-3/16"	OWNER	GC	RECTANGULAR
10b	CONDIMENT BIN	CAMBRO	12RS12	25-1/8" X 21-1/2" X 14"	OWNER	GC	12 BIN
10c	CHILLED LEMON WEDGE DISPENSER	SAN JAMAR	B6183L	18" X 5-3/4" X 5-1/2"	OWNER	GC	
10d	PLASTIC CUP HOLDERS	GOLD LEAF PLASTICS	B12091	12.75" X 4.75" X 10"	OWNER	GC	
11	TEA BREWER	BUNN	ITCB/MIS	11.5"WX23.7"DX34.3"H	VENDOR	GC	
11a	TEA DISPENSER	BUNN	TDON-3.5	6.2"W X 16.7"D X 21.6"H	VENDOR	GC	
11b	TEA DISPENSER (GOLD PEAK - VTT)	COCA COLA VARIETY	TEA TOWER	10" X 14.12" X 22.50"	OWNER	GC	STANDARD TEA DISPENSER
12	FREESTYLE-SODA DISPENSER	COCA COLA	FREESTYLE	25.25" X 35.25" X 73.5"	VENDOR	GC	
13	SODA DISPENSER (8 VALVE)	LANCER	IBD 4500	30" X 30.5" X 34"	VENDOR	GC	6" AIR GAP BETWEEN UNIT AND WALLS, CAULK TO COUNTER IF LEGLESS
14	ICE MACHINE	HOSHIZAKI	KMD-650MAH W/ HS-0239 (EXT. KIT)	22" X 27-3/8" X 37-7/16"	OWNER	GC	FOR FREESTYLE INSTALLATION: INSTALL ICE CONTROL EXTENSION BRACKET 3" BELOW TOP OF FREESTYLE
14a	ICE MACHINE	SCOTSMAN	CO522MA-32A	22" X 24" X 23"	OWNER	GC	
15	FOOD PREP TABLE	SILVER KING	SKP4812	48" X 32" X 44-1/2"	OWNER	GC	SANDWICH / SALAD UNIT
16	SANDWICH WRAP TABLE (108")	MARSHALL AIR SYSTEMS INC	146651	108" X 30" X 36"	VENDOR	GC	15" X 30" WARMER SHELF ON SIDE
16a	BACON BASKET SHELF	MARSHALL AIR SYSTEMS INC	146828	15.5" X 7.474"	VENDOR	GC	MOUNTED TO MIDDLE OF TABLE
16b	DAY DOT SHELF	MARSHALL AIR SYSTEMS INC	148403	15.5" X 7.5" X 8.875"	VENDOR	GC	
16c	SANDWICH WRAP TABLE (128")	MARSHALL AIR SYSTEMS INC	152398	128" X 30" X 36"	VENDOR	GC	15" X 30" WARMER SHELF ON SIDE
17	PRINTER SHELF	MARSHALL AIR SYSTEMS INC	146652	18" X 10" X 6"	VENDOR	GC	FASTENED TO LOW PARTITION
18	COUNTER TOP WARMER	NEMCO	6055A	14 5/8" X 23 7/8" X 9"	OWNER	GC	
19a	CHEF BASE REFRIGERATION UNIT (97")	SILVER KING	SKRC97H	97" X 31.18" X 26.17"	OWNER	GC	UNDER 36" AND 60" GRIDDLES
20	GAS GRIDDLE (36")	MAGIKITCH'N	FG-MKG36-STL	36" X 31.5"	OWNER	GC	INSTALL 6" STANDOFF BRACKET
20b	GAS GRIDDLE (60")	MAGIKITCH'N	FG-MKG60-STL	60" X 31.5"	OWNER	GC	INSTALL 6" STANDOFF BRACKET
21	FRESH FRY STATION	MARSHALL AIR SYSTEMS INC	145485	37" X 20" X 39"	OWNER	GC	
22	GAS FRYING SYSTEM	PITCO	FG-5GH50/FD/50/BT/50-2	78.125" X 30" X 69"	OWNER	GC	WITH REMOTE OIL-TANK TIE-IN
23	COOKED FRY STATION	MARSHALL AIR SYSTEMS INC	145486	44" X 32" X 56"	OWNER	GC	NO CUP HOLDER OPTION
24	MENU BOARD	AFFORDABLE SIGNS & BANNER	CUSTOM	95" X 23 1.5" X 1"	OWNER	GC	MOUNT TO ACT FRAME
26	HOOD (18'-0" CAPTIVE-AIRE)	CAPTIVE-AIRE SYSTEMS INC	3047BD	216" X 43"	OWNER	GC	CAULK TO PARTITIONS AND CEILING
26a	HOOD GREASE CUP	CAPTIVE-AIRE SYSTEMS, INC.			VENDOR	GC	B/CUP @ 5'-6" AFF
27	HAND SINK W/ SIDE SPLASH	SOUTHERN STAINLESS	FG-007	17" X 15" X 7 3/4"	OWNER	GC	CAULK TO PARTITION, 34" TOP OF BASIN
27a	3 COMPARTMENT SINK (WASHING) W/ INTEGRAL STAINLESS STL. BACKSPLASH	SOUTHERN STAINLESS	FG-001	102" X 27" X 42"	OWNER	GC	CLEANING, CAULK TO PARTITION W/ KASON CAULK, COLOR ALUMINUM
27b	4 COMPARTMENT SINK (FOOD PREP) W/ INTEGRAL STAINLESS STL. BACKSPLASH	SOUTHERN STAINLESS	FG-002-L FG-002-R	112" X 30" X 44"	OWNER	GC	FOOD PREP, CAULK TO PARTITION W/ KASON CAULK, COLOR ALUMINUM
27c	MOP SINK (24" X 24") (UNDER 3 & 4 COMP SINK)	FIAT	36EFS: MSB-2424 830 AA, 889 CC, & 832 AA	24" X 24" X 10"	GC	GC	CAULK TO PARTITION FAUCET - 830 AA, MOP BRACKET - 889 CC, HOSE & BRACKET - 832 AA
27d	MOP SINK (RECESSED) & FAUCET (36" X 24")	FIAT	36EFS: MSB-3624 830 AA, 889 CC, & 832 AA	36" X 24" X 10"	GC	GC	CAULK TO PARTITION FAUCET - 830 AA, MOP BRACKET - 889 CC, HOSE & BRACKET - 832 AA
28	POTATO CUTTER	NEMCO	56450-2R	35.75" X 10.25" X 15.18"	OWNER	GC	
29	HOT & COLD WALL HYDRANTS	WOODFORD	C22C	7" X 3" X 3"	GC	GC	UNDER HAND SINKS

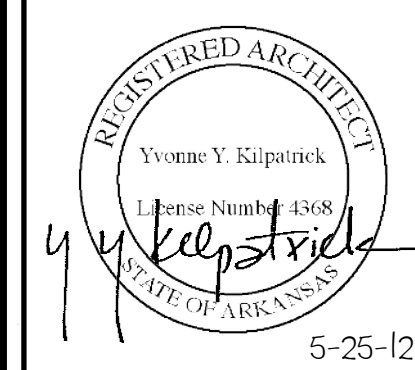
NOTE: FRANCHISEE TO CONFIRM USE OF EQUIPMENT SHOWN, SIZES, AND QUANTITIES.

MARK	DESCRIPTION	MANUFACTURER	MODEL	SIZE	EQUIP		REMARKS
					FURNISHED BY:	INSTALLED BY:	
30	WALK-IN COOLER W/ 48" INTERIOR FLUORESCENT LIGHT CONDENSER ON TOP OF COOLER	SOUTHERN STAINLESS BOHN PRO3	FG-100 PTN-104H6B INDOOR	7'-9" X 10'-0" X 7'-1" H, 4'-4" X 3'-6" X 1'-7" H, 8'-8" TOTAL HEIGHT 10'-1" MIN REQ'D CLG HEIGHT	OWNER	GC	42" DIAMOND PLATE ON ALL EXPOSED SURFACES. PROVIDE 48" FLUORESCENT LIGHT FIXTURE @ INTERIOR. SEE ENGINEERING DWGS. FOR LOCATION OF EVAPORATOR COIL. FIELD VERIFY ALLOWABLE CEILING HEIGHT TO DETERMINE IF SUFFICIENT CLEARANCE FOR MOUNTING CONDENSER ON TOP OF WALK-IN COOLER
31b	WORK-TABLE (36")	SOUTHERN STAINLESS	FG-010	30" X 36" X 35 1/2"	OWNER	GC	
31c	WORK-TABLE (48")	SOUTHERN STAINLESS	FG-011	30" X 48" X 35 1/2"	OWNER	GC	
31d	WORK TABLE (60") UNDER STORAGE	SOUTHERN STAINLESS	FG-039	30" X 60" X 33 1/2"	OWNER	GC	STORES UNDERNEATH 31e
31e	WORK TABLE (72") OVER STORAGE	SOUTHERN STAINLESS	FG-048	30" X 72" X 35 1/2"	OWNER	GC	USE WITH 31d
31f	WORK-TABLE (48") UNDER STORAGE	SOUTHERN STAINLESS	FG-038	30" X 48" X 33 1/2"	OWNER	GC	STORES UNDERNEATH 31g
31g	WORK-TABLE (60") OVER STORAGE	SOUTHERN STAINLESS	FG-049	30" X 60" X 35 1/2"	OWNER	GC	USE WITH 31f
32	CO2	CHART MVE	CARBO-MIZER 450	71.8" X 20"	VENDOR	GC	IF OUTDOORS PROTECT W/ BOLLARDS. WRAP & LABEL SODA LINES. VENDOR PROVIDES LINES TO SODA
33	BAG-N-BOX 30" RACK	COCA-COLA		30" X 18" X 78"	VENDOR	GC	WRAP AND LABEL SODA LINES
33a	BAG-N-BOX 28" RACK	COCA-COLA		28" X 16" X 77"	VENDOR	GC	FREESTYLE RACK
34	CARBONATOR	COCA-COLA			VENDOR	GC	
34a	WATER BOOSTER	MCCANN'S	16-2172	12" X 18" X 17.5"	VENDOR	GC	
35	WATER-FILTER	EVERPURE	9437-10	34.60" X 24.59" X 6.50"	OWNER	GC	OUTLETS: 1. FOR SODA MACHINE THROUGH COOLER BOX (50'-0" COL.), 2. FOR ICE MACHINE, 3. TO TEA BREWER. SEE ENGINEERING SHEETS
35a	WATER FILTER	3M	DF260(PART #5627601)	23.25" X 21" X 5.69"	OWNER	GC	SEE DETAILS FOR OUTLET INFO
36	WATER HEATER (TANKLESS - WALL MTD)	NORITZ	NC380-SV-ASME	24.4"X18.4"X9.8"	GC	GC	BLOCKING AS REQUIRED
37	DUNNAGE RACK (36")	ADVANCE TABCO	DUN-2036	20" X 12" X 36"	OWNER	GC	
37a	DUNNAGE RACK (48")	ADVANCE TABCO	DUN-2048	20" X 12" X 48"	OWNER	GC	WALK-IN COOLER/ENTRY DISPLAY
37b	DUNNAGE RACK (60")	ADVANCE TABCO	DUN-2060	20" X 12" X 60"	OWNER	GC	
39	STORAGE SHELF (4 SHELVES)	ADVANCE TABCO	EC-2424	24" X 24" X 86"	OWNER	GC	
39a	STORAGE RACK (4 SHELVES)	ADVANCE TABCO	EC-2436	24" X 36" X 86"	OWNER	GC	
39b	STORAGE RACK (4 SHELVES)	ADVANCE TABCO	EC-2448	24" X 48" X 86"	OWNER	GC	STORAGE SHELF SITTING DIRECTLY NEXT TO 3 COMPARTMENT WASHING SINK SHALL BE EPOXY COATED
39c	STORAGE RACK (4 SHELVES)	ADVANCE TABCO	EC-2460	24" X 60" X 86"	OWNER	GC	
39d	STORAGE RACK (4 SHELVES)	ADVANCE TABCO	EC-2454	24" X 54" X 86"	OWNER	GC	
40	WALL MOUNTED STORAGE SHELF (36")	NEW AGE INDUSTRIAL	1121	20" X 36"	OWNER	GC	USE T-BAR WALL SHELF W/ POT RACK, FOR SHELVING ABOVE 3 COMPARTMENT SINK. ALIGN BOTTOM OF SHELF WITH TOP OF DOOR FRAME. IF CEILING HEIGHT ALLOWS, NEXT ROW 24" ABOVE.
40a	WALL MOUNTED STORAGE SHELF (48")	NEW AGE INDUSTRIAL	1122	20" X 48"	OWNER	GC	
40b	WALL MOUNTED STORAGE SHELF (60")	NEW AGE INDUSTRIAL	1123	20" X 60"	OWNER	GC	
41	UNDER COUNTER STORAGE SHELF (24")	METRO	CUSTOM	14" X 24" X 34"	OWNER	GC	
41a	UNDER COUNTER STORAGE SHELF (36")	METRO	CUSTOM	14" X 36" X 34"	OWNER	GC	POST - 27UPS, CASTER - 5PC, 5PCB, SHELF - A1424NS, A1436NS, A1448NS, A1460NS, POST CUT IN FACTORY TO 27", KEC TO VERIFY SIZES REQUIRED IN FIELD
41b	UNDER-COUNTER-STORAGE-SHELF (48")	METRO	CUSTOM	14" X 48" X 34"	OWNER	GC	
41c	UNDER-COUNTER-STORAGE-SHELF (60")	METRO	CUSTOM	14" X 60" X 34"	OWNER	GC	
42	SANITIZER BUCKET SHELF	MARSHALL AIR SYSTEMS INC	151459	24" X 12" X 6"	VENDOR	GC	CAULK TO PARTITION UNDER SINK
43	BUN RACK (PREP ROOM)	BUCKHORN	BA2926068405000	29" X 26" X 6.13"	OWNER	GC	DOLLY - DY3027040099000
43a	BUN RACK (SERVICE) (36")	EAGLE	A223665-A	18" X 36" X 80"	OWNER	GC	MOBILE CART W/ CASTERS
44	LOCKERS (6 INDIVIDUAL DOORS)	ERNST	EL-6DR	12" X 20" X 77"	OWNER	GC	SECURE TO WALL W/O LEGS 6" AFF & PROVIDE ALL BLOCKING AS REQUIRED
45	SAFE	CORPORATE SAFE SPECIALISTS	MB3020-SGI	20" X 16" X 30"	OWNER	GC	
46	FIRE EXTINGUISHER (EXITS) (CLASS ABC)	BUCKEYE	10SABC, 11340	16 3/4" X 8 1/4" W	GC	GC	EXITS, WALL MOUNTED, CTR 36" - 48"
46a	FIRE EXTINGUISHER (COOK) (CLASS K)	BUCKEYE	WC-6LITER, 50006	19 1/4" H X 9" W, 7" DIA	GC	GC	COOK, WALL MOUNTED, CTR 36" - 48"
47	GREASE-RECYCLING-SYSTEM-INTERIOR	MAHONEY ENVIRONMENTAL	DC2004	31"DIA X 87.25"H	OWNER	GC	DIRECT PIPED TO FRYERS - REQ NON-GFI OUTLET @ 88" AFF
47a	GREASE-RECYCLING-SYSTEM-EXTERIOR	MAHONEY ENVIRONMENTAL	DC48	52"W X 33"D X 76"H	OWNER	GC	REQ NON-GFI OUTLET @ 72" AFF
47b	GREASE-RECYCLING-SYSTEM-EXT W/ COOLING	MAHONEY ENVIRONMENTAL	DC72	82"W X 33"D X 76"H	OWNER	GC	REQ NON-GFI OUTLET @ 72" AFF
47a	GREASE-CADDY	FRONTLINE INT'L INC	1055-NA	12" X 30" X 9.5"	OWNER	GC	
48	CHILD HIGH CHAIR	RUBBERMAID	7806-08PLAT		OWNER	GC	
49	FRONT COUNTER PROVIDED BY G.C				GC	GC	
49a	OFFICE COUNTER PROVIDED BY G.C.				GC	GC	
50b	SNEEZE GUARD (PIVOT)	ADM SNEEZEGUARDS	B-950-CUSTOM	22 1/8"H, 3/8" GLASS	OWNER	GC	TEMP-GLASS, #4 BRUSHED SS, CUSTOM. SEE DINING ELEVATIONS FOR CLARIFICATION
51	BEVERAGE CABINET (STAINLESS STL)	SOUTHERN STAINLESS	FG-BEV 96	96"W X 37"D X 27"H	OWNER	GC	
52	MUSAK SYSTEM				OWNER	GC	
53	TOUCH BLOCK				OWNER	GC	PROVIDE OUTLET FOR DOCKING STATION
54	BUG LIGHT				OWNER	GC	BLOCKING AS REQ'D. PROVIDE OUTLET 84" AFF
55	FRY TABLE WITH BACKSPLASH (48")	SOUTHERN STAINLESS	FG-015	30" X 48" X 50"	OWNER	GC	36" WIDE
57	ICE-MACHINE & STORAGE-BIN	HOSHIZAKI	KML451MAH,KM320MAH		OWNER	GC	FOH OR BOH SOLUTION, 2 MODELS
58	ICE-MACHINE & STORAGE-BIN	SCOTSMAN	CO530MA,B3225,B530P		OWNER	GC	PICK FROM 3 DIFFERENT MODELS
59	SANITIZER CHEMICAL STATION	ECOLAB			OWNER	GC	REFER TO DETAILS. CONFIRM LOCATION W/ FIVE GUYS CONSTR. MGR. PRIOR TO INSTALLATION
60	FLOOR CLEANER CHEMICAL STATION	ECOLAB			OWNER	GC	

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FINISH SCHEDULE							
FINISH	DESCRIPTION	FINISH NO.	MANUFACTURER	MANUFACTURER NO.	COLOR	TYPE	REMARKS
BASE	QUARRY TILE BASE	B-1	CREATIVE MATERIALS CORP.	—	CMC GREY QUARRY DOUBLE ABRASIVE	COVE	SERVICE AREA, PREP ROOM
	PORCELAIN TILE BASE	B-2	CREATIVE MATERIALS CORP.	8700029	CMC ODINO	6"X12" STRAIGHT TEXTURED	CUT TO SIZE ACCORDINGLY FROM 12" X 12" TILE W/ FACTORY EDGE FACING UP
	PORCELAIN TILE BASE (ALTERNATE)	B-3	CREATIVE MATERIALS CORP.	1091775	BLACK	6"X6" COVE	ALTERNATE COVE BASE WHERE REQ'D BY CODE
CEILING	CEILING TILE (USDA-ACCEPTED)	ACT-2	NATIONAL GYPSUM	GRIDSTONE, FIRE-SHIELD	WHITE	SQUARE LAY-IN 2' X 4' X 1/2"	15/16" EXPOSED TEE, PRELUDE ML7301 & ML7323 GRID (WHITE). SERVICE/PREP ROOM
	CEILING TILE	ACT-3	ARMSTRONG	FINE FIGURED 1728-BL	BLACK	SQUARE LAY-IN 2' X 2' X 5/8"	15/16" EXPOSED TEE, PRELUDE ML7301 & ML7323 GRID (BLACK), DINING
FLOOR	QUARRY TILE	QT	CREATIVE MATERIALS CORP.	—	CMC GREY QUARRY DOUBLE ABRASIVE	6" X 6"	KITCHEN, SERVICE C.O.F.=1.25 DRY; 1.03 WET
	PORCELAIN TILE	PT	CREATIVE MATERIALS CORP.	8700029	CMC ODINO	12" X 12", TEXTURED	DINING, RESTROOMS C.O.F.=.93 DRY; .76 WET
GROUT	PORCELAIN TILE GROUT	GR-1	HYDROMENT	H142	FRENCH GRAY	SANDED	FLOORS: DINING, VESTIBULE, RESTROOMS (3/16" GROUT JOINT)
	QUARRY TILE GROUT	GR-2	HYDROMENT	H151	TAUPE	SANDED	FLOORS: KITCHEN, PREP ROOM (1/4" GROUT JOINT)
	WALL TILE GROUT	GR-3	HYDROMENT	H152	WHITE	UNSANDED	WALLS: DINING, KITCHEN COUNTER, RESTROOMS (1/16" GROUT JOINT)
	EPOXY GROUT	GR-4	BOSTIK	EZPOXY	TAUPE	EPOXY	FLOORS: KITCHEN, PREP ROOM (1/4" GROUT JOINT)
	EPOXY GROUT	GR-5	BOSTIK	EZPOXY	FRENCH GRAY	EPOXY	FLOORS: RESTROOMS (1/4" GROUT JOINT)
MILLWORK	SERVICE COUNTER LAMINATE	PL-1	FORMICA	839-58	STOP RED	MATTE	SERVICE COUNTER & BEVERAGE CABINET LAMINATE
	MANAGER'S DESK LAMINATE	PL-2	FORMICA	459-58	BRIGHT WHITE	MATTE	MANAGER'S DESK & SHELVES LAMINATE
	SERVICE COUNTER SOLID SURFACE	C	CORIAN	—	HOT	(C)	SERVICE COUNTER ALTERNATE UPGRADE
	SERVICE COUNTER QUARTZ	SL5	SILESTONE	—	ROSSO MONZA	(C)	3CM COUNTER, 2" OVERHANG WITH 6CM PROFILE & EASED EDGE
PAINT	INTERIOR PAINT (CEILING, DINING WALLS)	P-1	SHERWIN WILLIAMS	P-1 FIVE GUYS BLACK	FIVE GUYS BLACK	EGGSHELL	COAT 1: S-W PREPRITE 200 INT. LATEX PRIMER, B28W200. COAT 2 AND 3: S-W DURATION HOME, ULTRA DEEP BASE, A9711254
	EXTERIOR PAINT (ACCENT)	P-2	SHERWIN WILLIAMS	P-4 FIVE GUYS BLACK	FIVE GUYS BLACK	ACRYLIC SEMI-GLOSS	COAT 1: DTM SG BONDING PRIMER, B66A50. COAT 2 AND 3: S-W DTM ACRYLIC SEMI-GLOSS COATING, B6611
	INTERIOR PAINT (METAL - GALVANIZED)	P-3	SHERWIN WILLIAMS	P-3 FIVE GUYS RED	FIVE GUYS TILE RED	ACRYLIC GLOSS	COAT 1: S-W DTM ACRYLIC PRIMER/FINISH, B66W1. COAT 2 AND 3: S-W DTM ACRYLIC GLOSS COATING, B66T104
	INTERIOR PAINT (METAL - IRON, STEEL)	P-4	SHERWIN WILLIAMS	P-3 FIVE GUYS RED	FIVE GUYS TILE RED	ACRYLIC GLOSS	COAT 1: S-W KEM BOND HS UNIVERSAL METAL PRIMER, B50Z SERIES. COAT 2 AND 3: S-W DTM ACRYLIC GLOSS COATING, B66T104
	INTERIOR PAINT (WOOD)	P-5	SHERWIN WILLIAMS	P-3 FIVE GUYS RED	FIVE GUYS TILE RED	ACRYLIC GLOSS	COAT 1: S-W PREPRITE CLASSIC LATEX PRIMER, B28W101. COAT 2 AND 3: S-W DTM ACRYLIC GLOSS COATING, B66T104
	INTERIOR PAINT (CEILING, WALLS)	P-7	SHERWIN WILLIAMS	P-2 FIVE GUYS WHITE	FIVE GUYS TILE WHITE	EGGSHELL SATIN	COAT 1: S-W PREPRITE 200 INT. LATEX PRIMER, B28W200. COAT 2 AND 3: S-W DURATION HOME SATIN, A97W51
	EXTERIOR PAINT (ACCENT)	P-8	SHERWIN WILLIAMS	P-6 FIVE GUYS WHITE	FIVE GUYS WHITE	SATIN	COAT 1: DTM DURATION EXTERIOR SATIN BONDING PRIMER, B66A50. COAT 2 AND 3: S-W DURATION EXT. SATIN COATING, K35W51
	INTERIOR PAINT (CMU & CONCRETE)	P-9	H+C CONCRETE STAINS	H+C BLOCK SHIELD MASONRY WATERPROOFER	WHITE	TEXTURED	
	INTERIOR PAINT (WOOD TRIM)	P-10	SHERWIN WILLIAMS		FIVE GUYS TILE WHITE	ACRYLIC GLOSS	COAT 1: S-W PREPRITE CLASSIC LATEX PRIMER, B28W101. COAT 2 AND 3: S-W DTM ACRYLIC GLOSS COATING, B66T104
	EXTERIOR PAINT (WOOD DOORS)	P-11	SHERWIN WILLIAMS		FIVE GUYS TILE RED	SEMI-GLOSS	COAT 1: S-W A-100 EXTERIOR LATEX WOOD PRIMER, B42W41 (IF TANNIN BLEEDING OCCURS, USE A-100 EXTERIOR STAIN BLOCKING PRIMER, Y24 SERIES) COAT 2 AND 3: S-W DTM ACRYLIC SEMI-GLOSS COATING, B66-200
	WALLS	OUTSIDE CORNER GUARDS (PUBLIC)	CG-1	SCHLUTER SYSTEMS	SCHLUTER-RONDEC EVROBOE	STAINLESS STEEL	—
CUSTOM OUTSIDE CORNER GUARDS (PRIVATE) & SS CAP (PUBLIC)		CG-2	ALLSTATE METALS	CUSTOM CONTACT: LAURA (630) 860-1500	STAINLESS STEEL FINISH #4	18 GA. 1 1/2" W/ 1/4" HEM	G.C. TO PROVIDE FULL HEIGHT STAINLESS STL. OUTSIDE CORNERS IN PRIVATE (SERVICE & PREP) AREAS. REFER TO FINISH PLAN. SHOTGUN KITCHEN SANDWICH WALL SS CAP SHALL BE ONE PIECE W/ NO WELDS & HEM'D EDGE
FIELD TILE		CT-1	CREATIVE MATERIALS CORP.	—	WHITE	4 1/4" X 4 1/4" GLOSSY	BULLNOSE TRIM - DINING, SERVICE COUNTER WALLS, RESTROOMS
ACCENT TILE		CT-2	CREATIVE MATERIALS CORP.	—	RED	4 1/4" X 4 1/4" GLOSSY	DINING, SERVICE COUNTER WALLS (WHERE INDICATED), RESTROOMS. SEE INTERIOR ELEVATIONS FOR ACCENT TILE PATTERN LOCATIONS
FIBERGLASS REINFORCED PLASTIC		FRP	CRANE	GLASBORD-P	WHITE (85)	EMBOSSSED CLASS A	PREP ROOM, SERVICE (OUT OF CUSTOMER'S SIGHT). FRP INSIDE CORNER SPEC = MARLITE, 350 IC
STAINLESS STEEL		SS	CUSTOM	—	STAINLESS STEEL FINISH #4	18 GA	FULL HEIGHT PANELS BEHIND COOK LINE & WHERE NOTED IN SERVICE. (NOTE: MARSHALL AIR PROVIDES STAINLESS STEEL BEHIND HOOD)
WATERPROOF MEMBRANE	WP	BOSTIK	GOLDPLUS	—	—	1'-6" ABOVE FLOOR ON OUTER/EXPOSED SURFACE OF DUROCK & UNDER FLOOR FINISH, 4'-0" OUT FROM DEMISING WALL. USE FABRIC REINF. ON JTS > 1/8"	

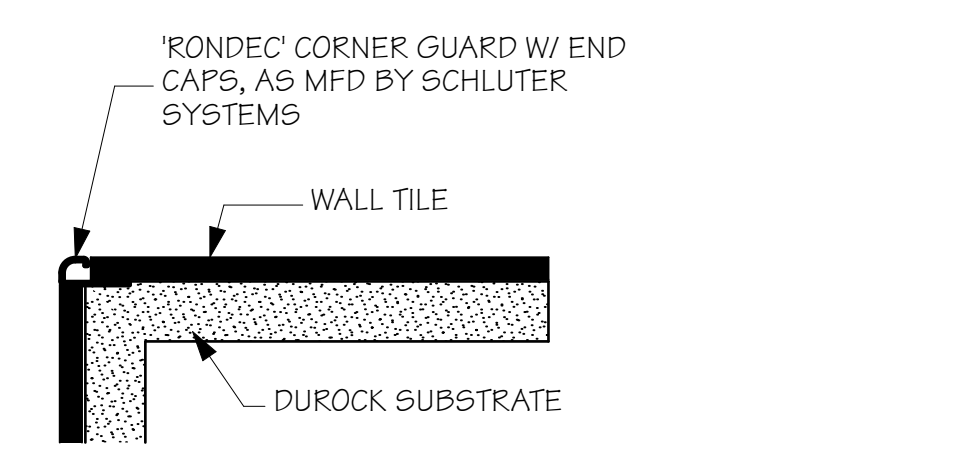
NOTES:
NATIONAL ACCOUNT FOR TILE, GROUT, AND WATERPROOF MEMBRANE: CREATIVE MATERIALS CORPORATION, ATTN: SCOTT BOCKETTI (518) 713-5366, SBOCKETTI@CREATIVEMATERIALSCORP.COM
NATIONAL ACCOUNT FOR PAINT: SHERWIN-WILLIAMS, ATTN: QUANG TRAN (703) 926-6120, ACCT# 9395-8905-7, SWREP6376@SHERWIN.COM
PAINT ORDERING NOTE: WHEN ORDERING PAINT, USE FIVE GUYS ENTERPRISES (FGE) NATIONAL ACCOUNT. DO NOT USE FIVE GUYS OPERATIONS (FGO). VERIFY COLOR IS SAME AS SPECIFIED ON COLOR COLUMN OF FINISH SCHEDULE. PAINT PROVIDED BY G.C. & MUST ORDER THROUGH FIVE GUYS VENDOR
PROVIDED BY NOTES: (CORPORATE STORES ONLY) FIVE GUYS PROVIDES TILE, G.C. SHALL ORDER THROUGH FIVE GUYS VENDOR, G.C. SHALL PROVIDE MORTAR, ADHESIVES, & CORNER GUARDS

FINISH PLAN NOTES:

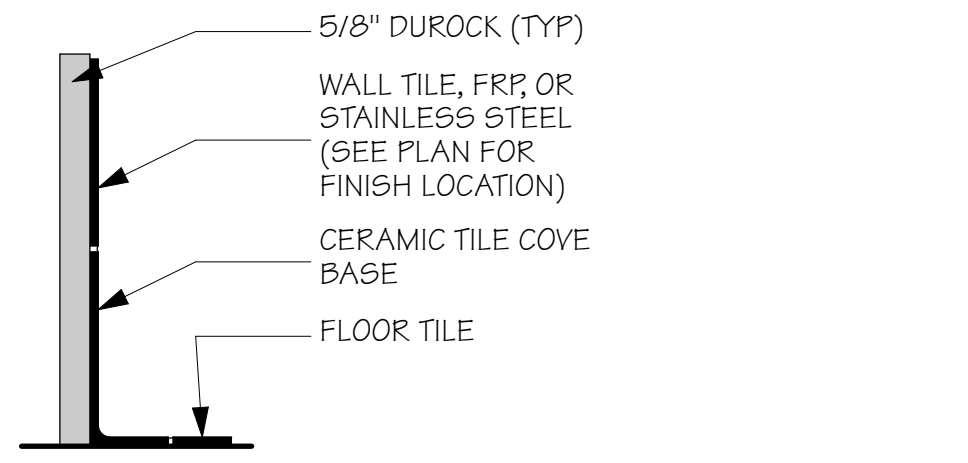
GENERAL:
APPLY CONTINUOUS WATERPROOF MEMBRANE 1'-6" ABOVE FLOOR ON OUTER/EXPOSED SURFACE OF DUROCK AND UNDER FLOOR FINISH 4'-0" OUT FROM ALL WALL PARTITIONS AT KITCHEN AND SERVICE AREAS, BOTH SIDES. WHERE TENANT SPACE ADJUTS DEMISING WALL, INSTALL CONTINUOUS WATERPROOF MEMBRANE 1'-6" ABOVE FLOOR ON OUTER/EXPOSED SURFACE OF DUROCK, AND UNDER FLOOR FINISH 4'-0" OUT FROM DEMISING WALL AREA SHOWN DASHED ON FINISH PLAN. WATERPROOF MEMBRANE TO BE LATICRETE HYDRO BAN, D9-663,0-0509. CHECK WITH THIN SET MANUFACTURER FOR RECOMMENDED PRODUCT AND INSTALLATION. CONFIRM ALL WATERPROOFING LOCATIONS W/ FIVE GUYS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION

TILE PATTERN TO BE ON ALL WALLS IN DINING, REST ROOMS AND ALL AREAS VISIBLE TO PATRONS UNLESS NOTED OTHERWISE. ALL SHEETING BEHIND TILES TO BE 5/8" DUROCK. ALL SHEETING BEHIND PAINTED SURFACES TO BE 5/8" GYPSUM BOARD. ALL SHEETING IN RESTROOMS TO BE MOISTURE RESISTANT. FULL TILES START AT BOTTOM. BULLNOSE TOP TILE AT ALL WALLS. CUT TILE AT TOP @ MILLWORK. RETURN TILE BACK TO FACE OF STOREFRONT. SILL FINISH SHALL BE WHITE TILES. PATTERN TO START W/ FULL TILE @ THE START OF EACH WALL. WALL TILE INSTALLATION NOTE:
 - WALL TILE HAS BUILT-IN LUGS TO PROVIDE SPACING. NO SPACERS ARE REQUIRED
 - START TILE @ 4'-4 3/4" AFF AND WORK DOWN, CUTTING THE BASE TILE ACCORDINGLY
 - EXISTING INTERIOR CONCRETE FLOOR SURFACES TO REMAIN SHALL BE THOROUGHLY REPAIRED, AND SEALED AS PER FLOOR COVERING MANUFACTURER REQUIREMENTS
 - EXPOSED COLUMNS TO BE PAINTED 'FIVE GUYS RED' W/ ACRYLIC GLOSS FINISH
 - PROVIDE CORNER GUARD 'RODEC' AS MANUFACTURED BY SCHLUTER SYSTEMS AT ALL WALL TILE CORNERS - SEE DETAIL THIS SHEET
 - PROVIDE REDUCER / TRANSITION STRIP 'RENO RAMP' #AERP 100 B65 AS MANUFACTURED BY SCHLUTER SYSTEMS OR EQUAL AT AREAS WHERE PORCELAIN OR QUARRY TILE FLOOR ABUTS CONCRETE FLOOR.
 - RETURN BASE, WALL TILE PATTERN, AND PAINTED FINISH BACK TO FACE OF STOREFRONT AT DINING. PAINT P-7 AND/OR P-1 AT WALL ABOVE STOREFRONT (SEE ELEVATIONS)

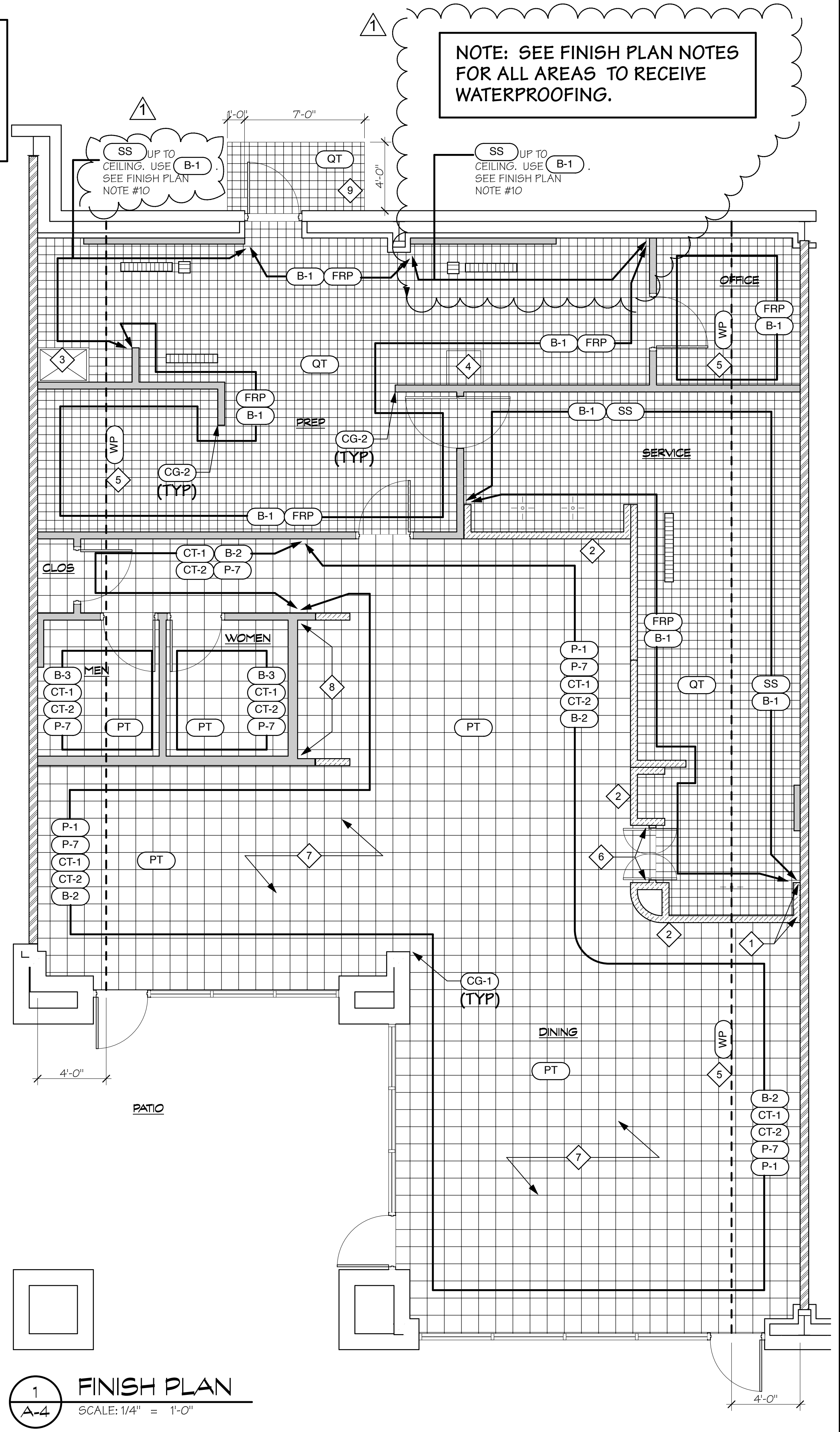
- CONTINUE DINING WALL FINISHES TO BACK EDGE OF POS COUNTER; SEE INTERIOR ELEVATIONS
- TILE PATTERN ON HALF HEIGHT WALL SHALL MATCH PATTERN AT FULL HEIGHT WALLS - SEE ELEVATIONS AT DINING FOR REFERENCE (TYP)
- PROVIDE FRP FINISH ON THE WALLS ABOVE MOP SINK SHELF
- PROVIDE BASE B-1 ALONG FACE AND QT ON TOP OF CONCRETE CURB AT SAFE
- PROVIDE A CONTINUOUS WATERPROOF MEMBRANE (SHOWN DOTTED) ALONG DEMISING WALL & UTILITY ROOM WALLS, 1'-6" ABOVE FLOOR ON OUTER EXPOSED SURFACE OF DUROCK, AND UNDER FLOOR FINISH 4'-0" OUT FROM DEMISING WALL IN SERVICE, PREP AND STORAGE AREAS. SEE FINISH SCHEDULE FOR MEMBRANE SPECIFICATION. SEE GENERAL NOTES ABOVE
- EXTEND TILE PATTERN ON KNEEWALLS OF COUNTER SWING GATE BACK TO REAR EDGE OF COUNTER
- PAINT HORIZONTAL BAND W/ P-1 @ UPPERMOST SECTION OF DINING WALLS - SEE ELEVATIONS
- AT REAR WALL OF BEVERAGE AREA, EXTEND DINING TILE FINISHES UP TO 7'-11 1/4" AFF, W/ PAINT P-7 ABOVE; SEE DINING ELEVATION FOR CLARIFICATION
- PROVIDE QUARRY TILE QT OUTSIDE REAR DOOR AS SHOWN. CONFIRM EXTENT OF TILE W/ FIVE GUYS FRANCHISEE PRIOR TO CONSTRUCTION
- AT STAINLESS STEEL WALL FINISH BEHIND COMPARTMENT SINKS (SEE FINISH PLAN), G.C. SHALL PROVIDE STAINLESS STEEL "HOOD" LAPPING OVER SINK BACKSPLASH - CONTINUE FOR ENTIRE LENGTH OF COMPARTMENT SINK



3 WALL CORNER DETAIL
 SCALE: 6" = 1'-0" (@ DINING)



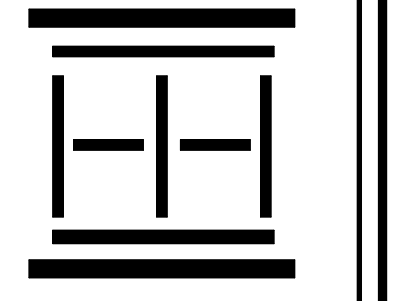
2 COVE BASE DETAIL
 SCALE: 3" = 1'-0"



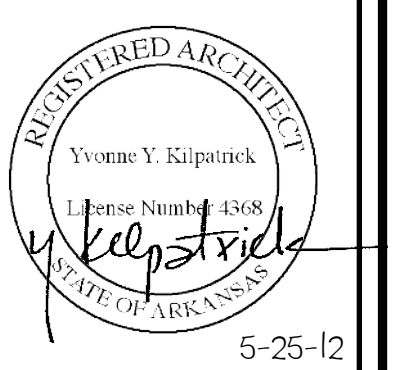
1 FINISH PLAN
 SCALE: 1/4" = 1'-0"

NOTE: SEE FINISH PLAN NOTES FOR ALL AREAS TO RECEIVE WATERPROOFING.

YVONNE Y. KILPATRICK ARCHITECT



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 Tel 770 619 5916
 Fax 770 619 5919



5-25-12

FIVE GUYS
 BURGERS and FRIES
 7110 ROGERS AVENUE, SUITE F
 FORT SMITH, ARKANSAS 72903

REVISIONS		
NO.	DATE	REVISION
1	8-15-12	Owner Revisions

INDemnIFICATION CLAUSE
 THE OWNER SHALL RELEASE, HOLD HARMLESS, AND INDEMNIFY THE ARCHITECT WITH RESPECT TO: ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT OR CHANGES IN ANY ASPECT OF THE WORK OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

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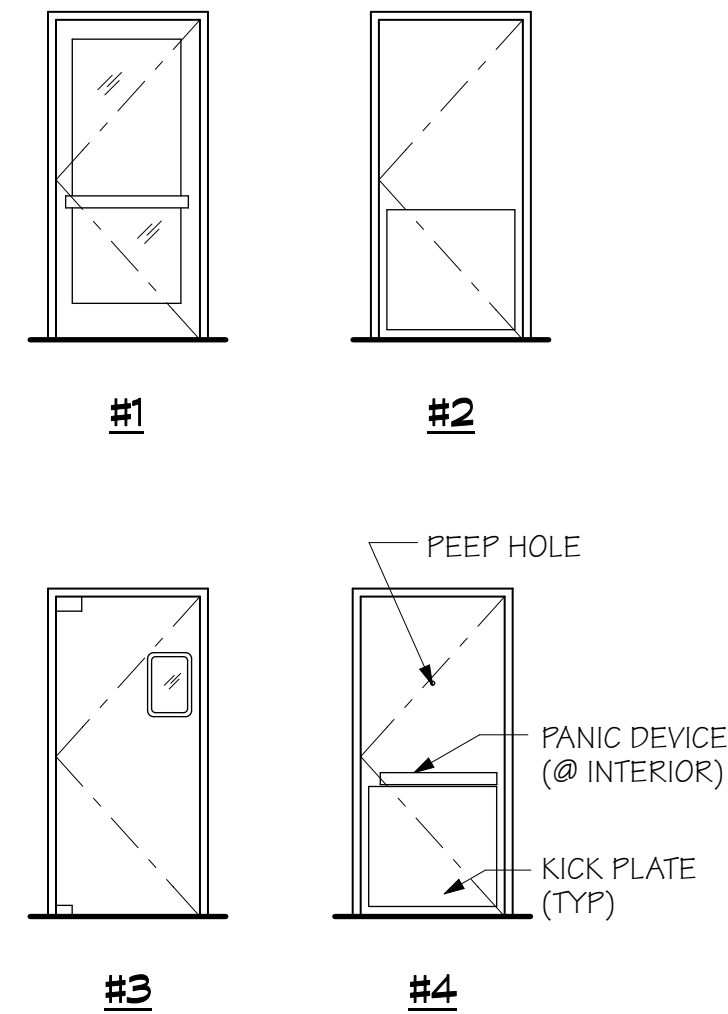
SHEET TITLE
 FINISH PLAN

PROJECT NO. 1226	SHEET NO. A-4
DRAWN BY	
DATE 5-25-12	6 OF 10

DOOR SCHEDULE								
NO.	STOREFRONT	SIZE	DOOR		FRAME		RATING	HARDWARE / REMARKS
			TYPE	FINISH	MATL	FINISH		
100A	STOREFRONT DOOR	EXISTING TO REMAIN 3'-0" x 7'-0"	1	ALUM & TEMP GLASS	EXISTING	ALUM & TEMP GLASS	----	RE-KEY PER TENANT, G.C. TO ENSURE THAT: A. THRESHOLDS DO NOT EXCEED 1/2" B. DOOR PUSH PULL FORCE DOES NOT EXCEED 5 LBS.
100B	STOREFRONT DOOR	EXISTING TO REMAIN 3'-0" x 7'-0"	1	ALUM & TEMP GLASS	EXISTING	ALUM & TEMP GLASS	----	RETROFIT EXISTING STOREFRONT DOOR WITH NEW PANIC HARDWARE, IF NOT EXISTING, TO MATCH DOOR MFR'S STANDARD
100C	STOREFRONT DOOR	EXISTING TO REMAIN 3'-0" x 7'-0"	1	ALUM & TEMP GLASS	EXISTING	ALUM & TEMP GLASS	----	RE-KEY PER TENANT, G.C. TO ENSURE THAT: A. THRESHOLDS DO NOT EXCEED 1/2" B. DOOR PUSH PULL FORCE DOES NOT EXCEED 5 LBS.
101	SERVICE COUNTER	PAIR 1" x 1'-6" x 2'-6"		EXT. SC WD	STAINLESS STL	-----	-----	CAFE DOORS, MODEL SCP-3 AS MFD. BY ELIASON. ALL HARDWARE & ACCESSORIES STAINLESS STL FINISH. STRAIGHT CUT, MOUNT TO COUNTER
102A	PREP	3/4" x 3'-0" x 7'-0"	3	EXT. SC WD	STAINLESS STL	STAINLESS STL	STAINLESS STL	MODEL SCP-3 AS MFD. BY ELIASON, W/ 9" X 30" WINDOW. FULL LENGTH 18 GA. STAINLESS STL. PANELS BOTH SIDES. ALL HARDWARE & ACCESSORIES STAINLESS STL FINISH. 2" STAINLESS STL DOOR FRAME PROVIDED BY ELIASON
102B	PREP	3'-0" x 7'-0"	2	H.M.	PAINT P-4	H.M.	PAINT P-4	HARDWARE SET #3. CONFIRM USE OF VIEW WINDOW W/ FRANCHISEE
102C	REAR DOOR	EXISTING TO REMAIN 3'-0" x 7'-0"	4	H.M.	PAINT P-4 @ INTERIOR	H.M.	PAINT P-4 @ INTERIOR	RE-KEY LOCK PER TENANT. IF NOT EXISTING, ADD HARDWARE SET #2 COMPONENTS
103	MEN'S TOILET	3'-0" x 7'-0"	2	H.M.	PAINT P-4	H.M.	PAINT P-4	HARDWARE SET #1
104	WOMEN'S TOILET	3'-0" x 7'-0"	2	H.M.	PAINT P-4	H.M.	PAINT P-4	HARDWARE SET #1
105	OFFICE	3'-0" x 7'-0"	2	H.M.	PAINT P-4	H.M.	PAINT P-4	HARDWARE SET #3
106	CLOSET	3'-0" x 7'-0"	2	H.M.	PAINT P-4	H.M.	PAINT P-4	HARDWARE SET #3 WITHOUT CLOSER

- NOTES:**
- ALL DOOR HARDWARE SHALL BE HANDICAP ACCESSIBLE (ADA APPROVED) W/ MAX EFFORT TO BE 5 LBS INTERIOR; 8 1/2 LBS EXTERIOR.
 - LOCKS: MFD BY SCHLAGE, "ND SERIES RHODES (RHO)" HANDICAP ACCESSIBLE LEVER
 - ALL HARDWARE SHALL BE HEAVY DUTY COMMERCIAL GRADE.
 - REKEY ALL EXISTING HARDWARE - PROVIDE MASTER KEY FOR ALL DOORS.
 - ALL HARDWARE SHALL HAVE FINISH #U526D (SATIN CHROMIUM PLATED)
 - EACH DOOR LEAF TO HAVE:
 - SILENCERS AS MFD BY TRIMCO OR EQ
 - DOOR STOPS AS MFD BY TRIMCO OR EQ
 - AT DOORS #100A & 100B PROVIDE SIGNAGE IN 1" HIGH LETTERS ON CONTRASTING BACKGROUND TO READ **THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED**.
 - AT STOREFRONT DOORS #100A & 100B PROVIDE PANIC HARDWARE TO MATCH DOOR MFR. STANDARD OR DETEX V40
 - ALL DOORS TO REMAIN KEYLESS IN THE DIRECTION OF EGRESS

- HARDWARE SETS**
- HARDWARE SET #1**
- HINGES - 1/2 PR, STEEL, BALL BEARING TYPE
 - PRIVACY LOCKSET ND40S (ADA ACCESSIBLE)
 - HEAVY DUTY CLOSER - LCN 4000 SERIES (ADA COMPLIANT)
 - DIAMOND PLATE KICK PLATE - 34" x 34" (BOTH SIDES)
 - ADA APPROVED SIGNAGE
- HARDWARE SET #2**
- HINGES - 1/2 PR, BRASS, BALL BEARING TYPE W/ NON-REMOVABLE PINS
 - PUSH BAR EXIT DEVICE W/ ENTRY LOCKSET TRIM & ALARM DETEX MODEL V40XB 711 FINISH, W/ 08-BRN-689 OUTSIDE LEVER TRIM, U526D
 - CLOSER - HEAVY DUTY
 - DIAMOND PLATE KICK PLATE - 34" x 34" (INTERIOR SIDE)
 - 180 PEEP HOLE & BUZZER
- HARDWARE SET #3**
- HINGES - 1/2 PR, BRASS, BALL BEARING TYPE
 - CLOSER - HEAVY DUTY
 - DIAMOND PLATE KICK PLATE - 34" x 34" (BOTH SIDES)
 - OFFICE LOCKSET ND50PD (ADA ACCESSIBLE)



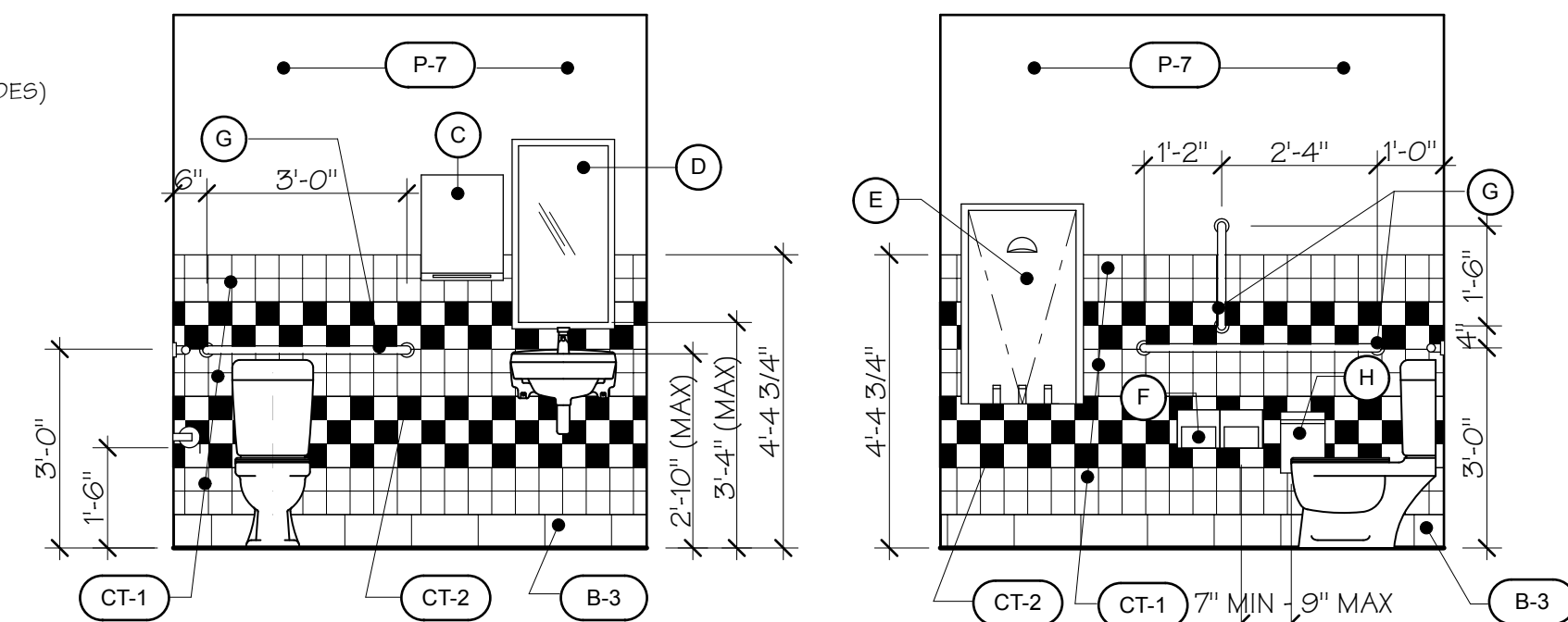
DOOR TYPES

RESTROOM FIXTURE & ACCESSORY SCHEDULE										
NO.	DESCRIPTION	MANUFACTURER	MANUFACTURER NUMBER	COLOR	SUPPLIED		INSTALLED/CONNECTION			HARDWARE
					G C	OWN	G C	OWN	MFG	
A	WALL MTD SOAP DISPENSER	ECOLAB	CHECK W/ MFR	ST STL		*			*	48" AFF TO HIGHEST OPERABLE PART
B	COAT HOOK	BOBRICK	B-212	ST STL	*		*			BACK OF TOILET STALL (BACK OF RESTROOM DOOR IN SINGLE STALL) DOOR 38" TO 48" AFF MAX
C	PAPER TOWEL DISPENSER	GEORGIA-PACIFIC	ENMOTION 59457	TRANSLUCENT RED		*	*			48" AFF TO HIGHEST OPERABLE PART
D	MIRROR	SENTRY	SMS1836	ST STL	*		*			40" MAX TO BOTTOM OF REFLECTIVE SURFACE
E	BABY CHANGING TABLE	CONTINENTAL	VERTICAL #8252	WHITE		*	*			SHELF @ 34" AFF
F	TOILET TISSUE DISPENSER	GEORGIA-PACIFIC	COMPACT 56784	TRANSLUCENT RED		*	*			OUTLET - 18" AFF, CENTERLINE 7" - 9" FROM FRONT OF WATER CLOSET
G	GRAB BAR	BOBRICK	B-6806.99 (18, 36, x42)	ST STL	*		*			CENTERLINE OF HORIZONTAL GRAB BAR 33" - 36" AFF, BOTTOM OF 18" VERTICAL GRAB BAR 39" - 41" AFF
H	SANITARY NAPKIN DISPOSAL	BOBRICK	B-270	ST STL		*	*			19" MIN
J	WATER CLOSET			WHITE	*		*			COMFORT HEIGHT, 17" TO 19" AFF. SEE PLUMBING DRAWINGS
K	LAVATORY			WHITE	*		*			SEE PLUMBING DRAWINGS
L	URINAL			WHITE	*		*			RIM 17" AFF. SEE PLUMBING DRAWINGS

- NOTES:**
- ALL FIXTURES & ACCESSORIES SHALL MEET ALL NATIONAL AND LOCAL CODES AND ADA REQUIREMENTS.
 - PROVIDE FR. SOLID BLOCKING BEHIND GYP BD WHETHER INDICATED ON THE DRAWINGS OR NOT AT ALL WALL MOUNTED FIXTURES & ACCESSORIES FOR SECURE ANCHORING. VERIFY BLOCKING LOCATION WITH MANUFACTURER'S SPECIFICATIONS.
 - CLEAR SILICONE CAULK AT ALL FIXTURES TO PARTITIONS.
 - REFER TO MOUNTING HEIGHTS ON COVER SHEET
 - FRANCHISEE SHALL PURCHASE GEORGIA PACIFIC ACCESSORIES C AND F THROUGH USFOODS / NDG

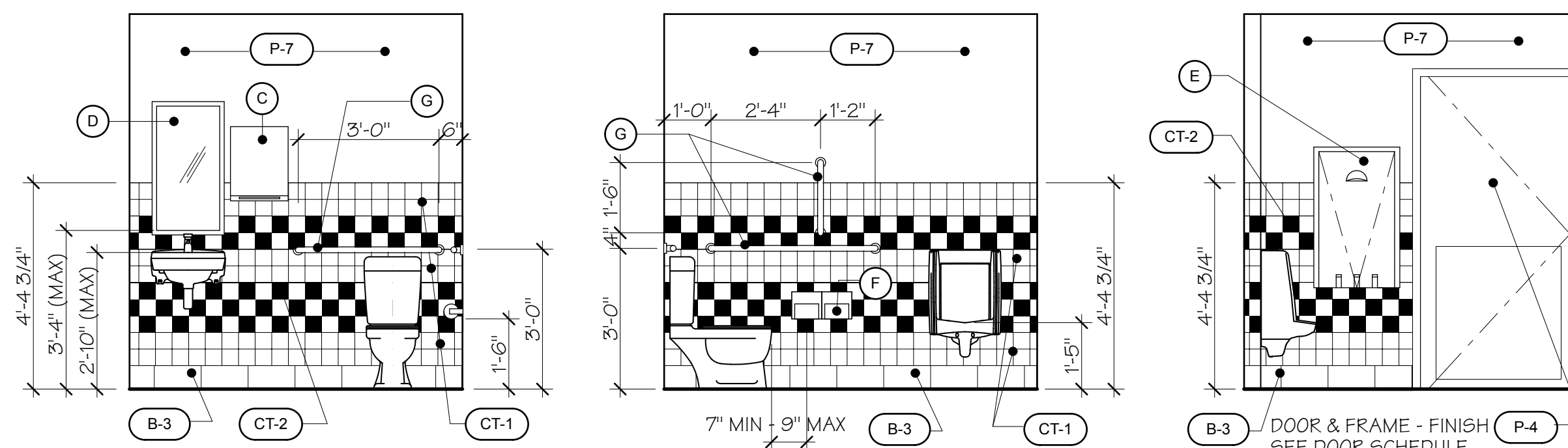
TOILET NOTES

- HANDICAP ACCESSIBLE W.C. SHALL HAVE SEAT AT 17" TO 19" A.F.F. MEASURED FROM THE TOP OF THE SEAT TO THE FLOOR. CENTERLINE OF W.C. SHALL BE LOCATED 18" FROM ADJACENT SIDEWALL.
- 36" AND 42" GRAB BARS COMPLYING WITH ANSI 117.1, ADA ACCESSIBILITY GUIDELINES SHALL BE MOUNTED AT 36" A.F.F.
- APPROVED TYPE TOILET PAPER HOLDER SHALL BE WALL MOUNTED AT SIDE OF W.C. W/ THE OUTLET AT A MINIMUM OF 18" A.F.F. (MAX 48" AFF) AND AT A MAXIMUM OF 36" FROM REAR OF W.C.
- LAVATORY OR VANITY SHALL BE MOUNTED WITH BOTTOM OF APRON AT 29" A.F.F. WITH NO ABRASIVE SURFACES UNDER. PIPES SHALL PROVIDE KNEE CLEARANCE OF 8". TOE CLEARANCE OF 9" AND FLOOR SPACE OF 17". INSULATE OR SHIELD HOT WATER AND DRAIN PIPES. PROVIDE LEVER OPERATED FAUCETS.
- PROVIDE APPROVED TYPE PAPER TOWEL DISPENSER AND LIQUID SOAP DISPENSER MOUNTED SO THAT ALL OPERATING MECHANISMS ARE NO MORE THAN 48" A.F.F.
- MIRROR SHALL BE 1/4" PLATE WITH POLISHED EDGES, A MINIMUM OF 36" HIGH, MOUNTED TO WALL WITH BOTTOM REFLECTING EDGE AT A MAXIMUM OF 40" A.F.F. AND TOP EDGE AT A MINIMUM HEIGHT OF 74" A.F.F.
- PROVIDE DOOR SIGN PLAQUE WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- IF URINALS ARE INDICATED, THEY SHALL BE MOUNTED WITH THE RIM AT A MAXIMUM OF 17" A.F.F. AND WITH A CLEAR FLOOR AREA OF AT LEAST 30" WIDE BY 48" DEEP IN FRONT.
- IF WATER FOUNTAIN IS INDICATED IT SHALL BE MOUNTED SO THAT THE SPOUT IS NO HIGHER THAN 36" A.F.F. AND THERE IS A CLEAR FLOOR AREA OF 30" WIDE BY 48" DEEP IN FRONT.



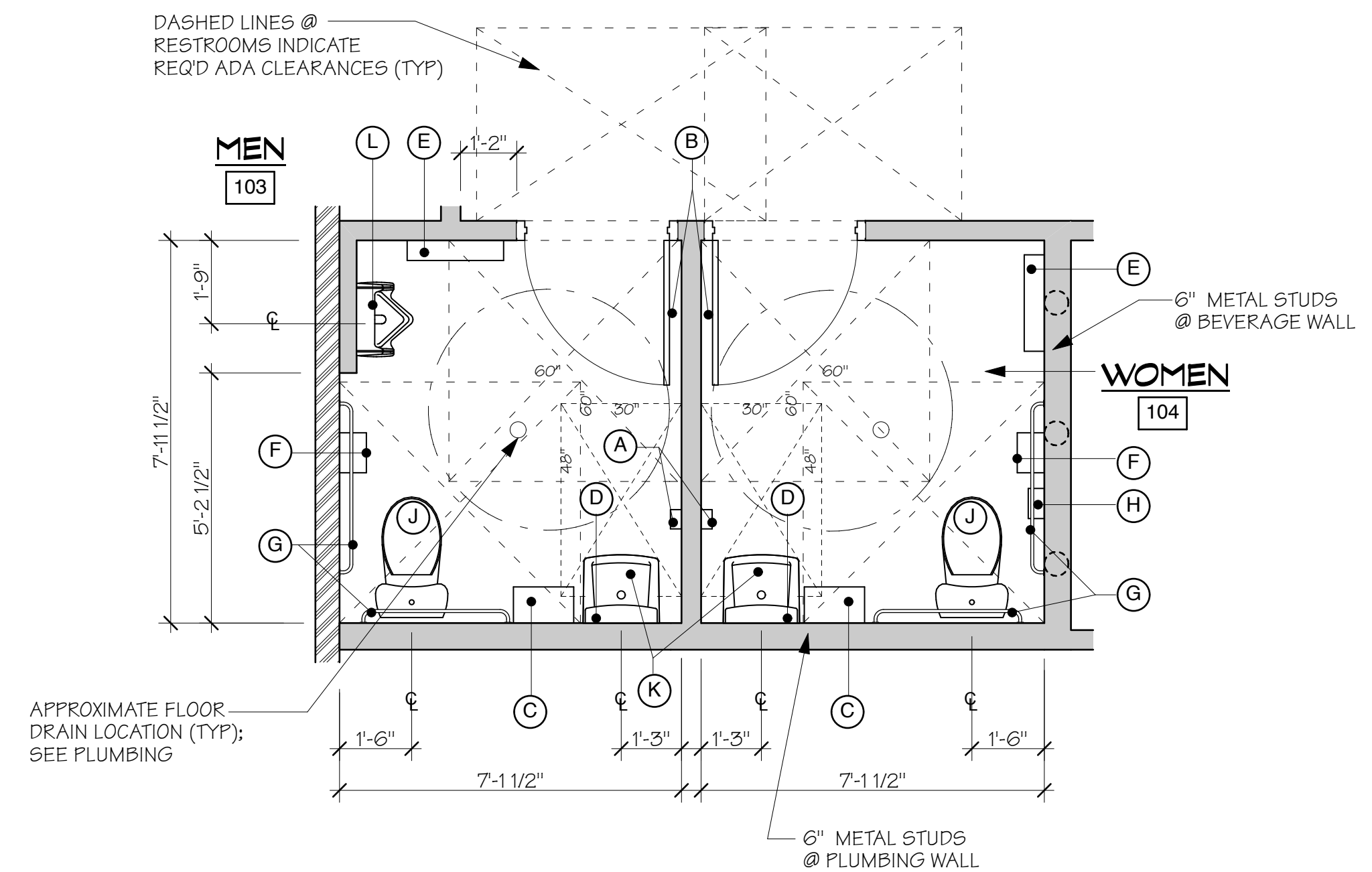
- NOTE:**
- SEE ENLARGED FLOOR PLAN & SCHEDULE FOR TOILET ACCESSORIES
 - SEE COVER SHEET FOR ADDITIONAL MOUNTING HEIGHTS

3 ELEV. @ WOMEN'S RESTROOM
SCALE: 3/8" = 1'-0"



- NOTE:**
- SEE ENLARGED FLOOR PLAN & SCHEDULE FOR TOILET ACCESSORIES
 - SEE COVER SHEET FOR ADDITIONAL MOUNTING HEIGHTS

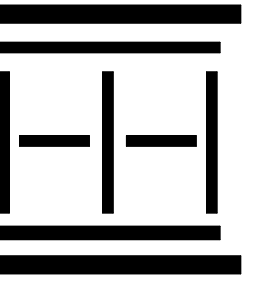
2 ELEV. @ MEN'S RESTROOM
SCALE: 3/8" = 1'-0"



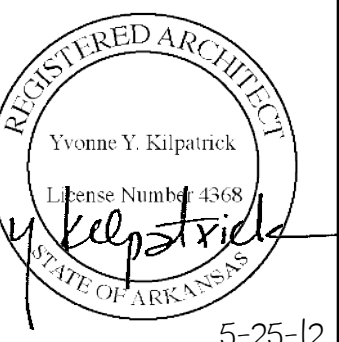
- NOTE:**
- SEE RESTROOM ELEVATIONS THIS SHEET.
 - SEE RESTROOM ACCESSORY SCHEDULE THIS SHEET.
 - SEE MOUNTING HEIGHTS ON COVER SHEET.
 - SEE RESTROOM ELEVATION FOR VERTICAL GRAB BAR LOCATION

1 ENLARGED PLAN @ RESTROOMS
SCALE: 3/8" = 1'-0"

YVONNE Y. KILPATRICK ARCHITECT



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3155 North Point Parkway
Building E - Suite 200
Alpharetta, Georgia 30005
Tel 770 619 5916
Fax 770 619 5919



5-25-12

FIVE GUYS
BURGERS and FRIES
7110 ROGERS AVENUE, SUITE F
FORT SMITH, ARKANSAS 72903

REVISIONS

NO.	DATE	REVISION

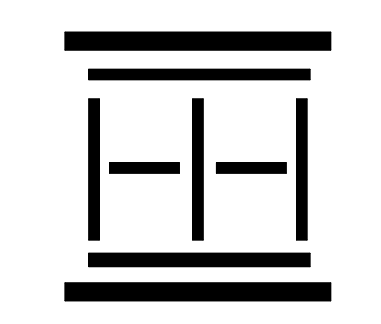
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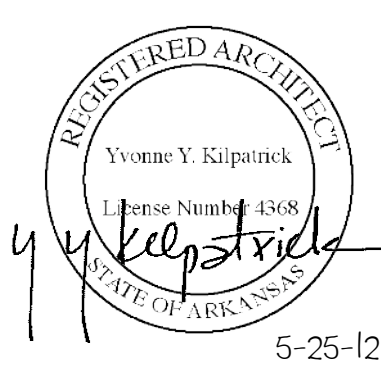
SHEET TITLE
SCHEDULES / TOILET PLAN / ELEV

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DRAWN BY	
DATE 5-25-12	8 OF 10

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FIVE GUYS
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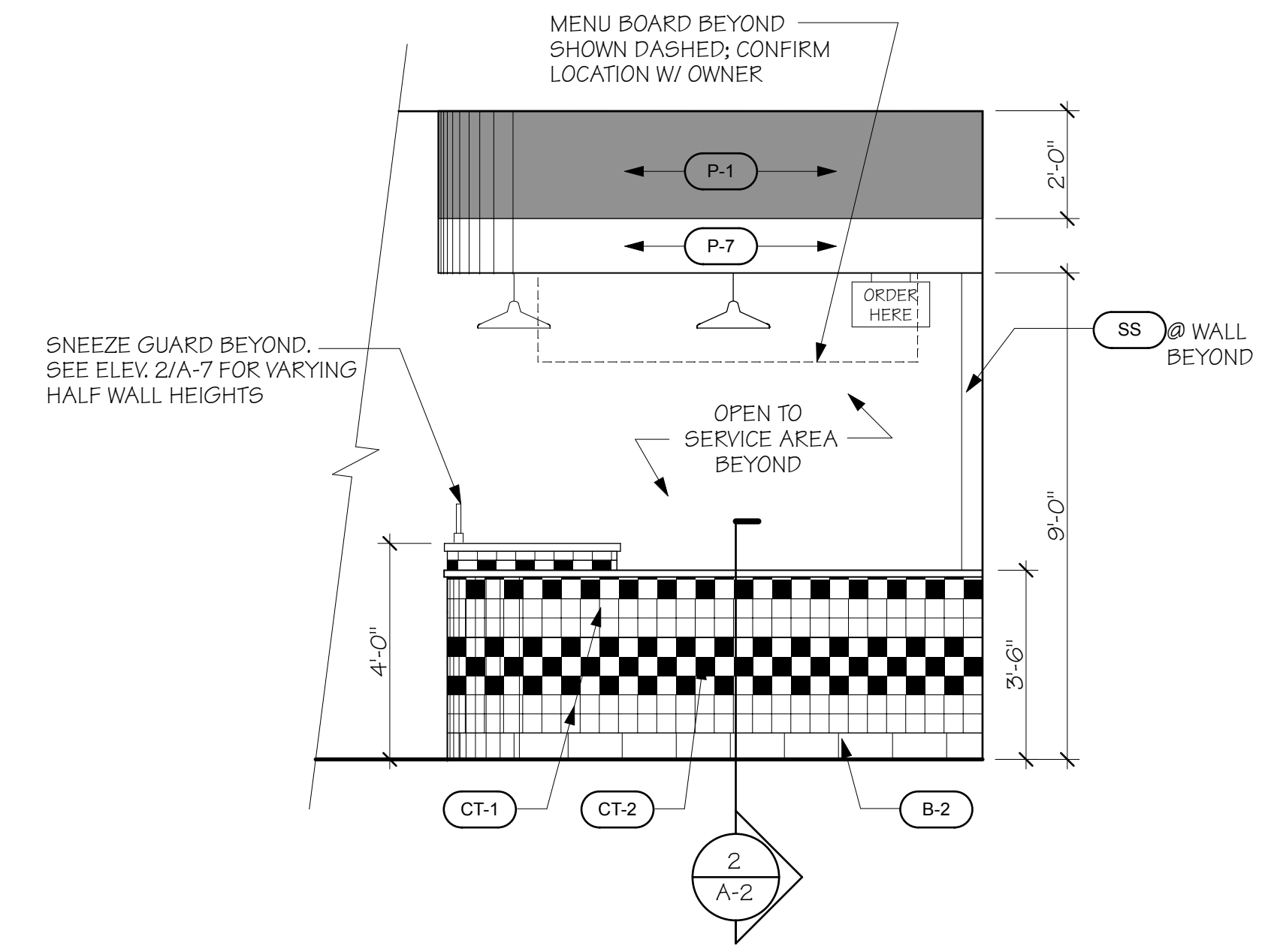
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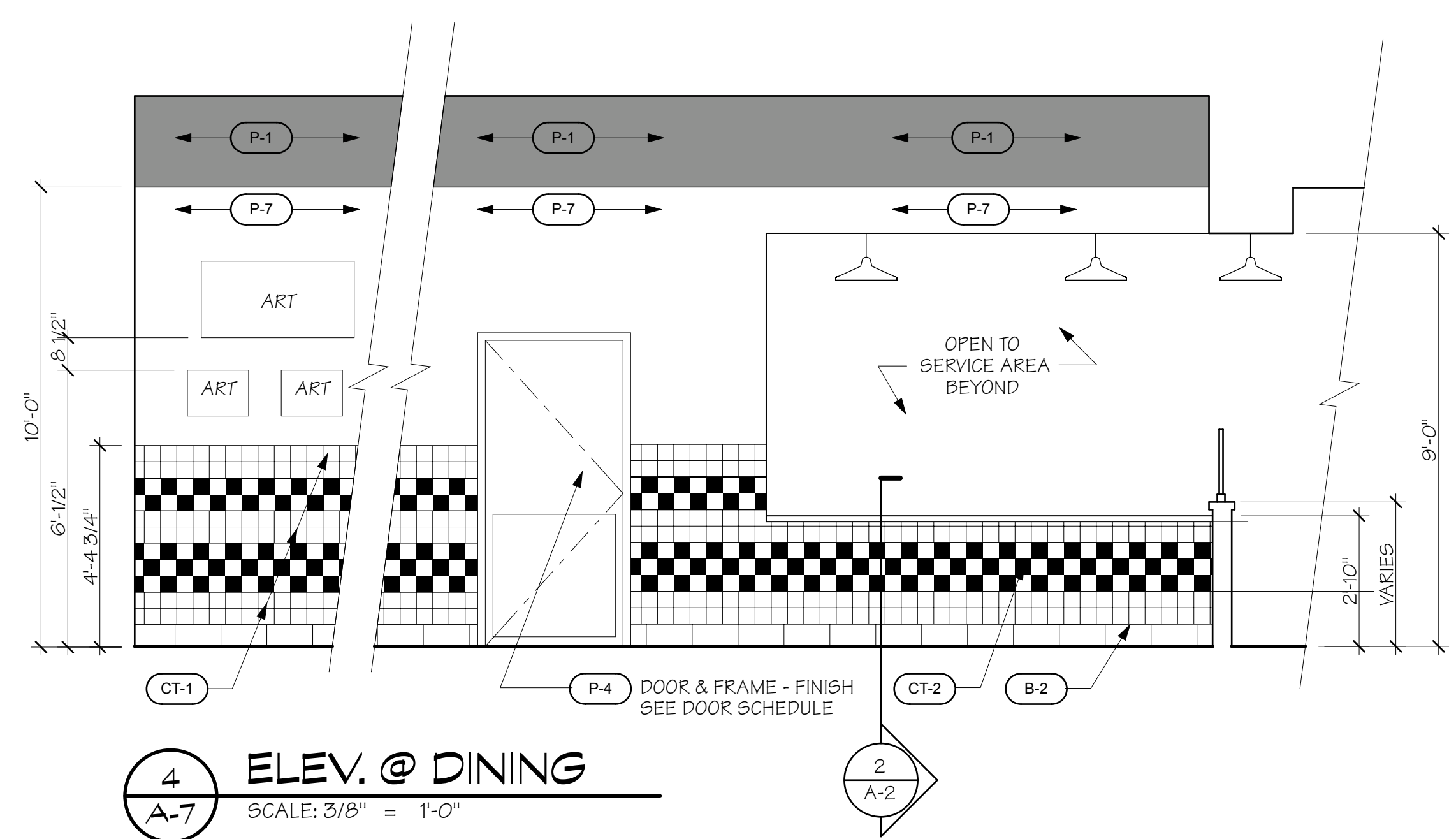
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SHEET TITLE
INTERIOR ELEVATIONS

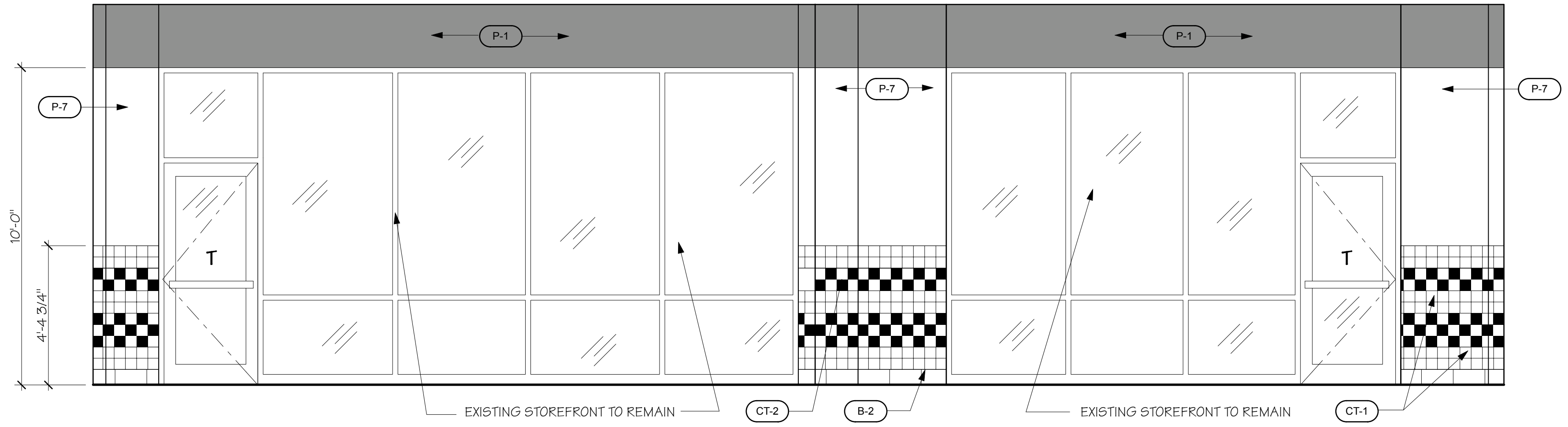
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DATE 5-25-12	9 OF 10



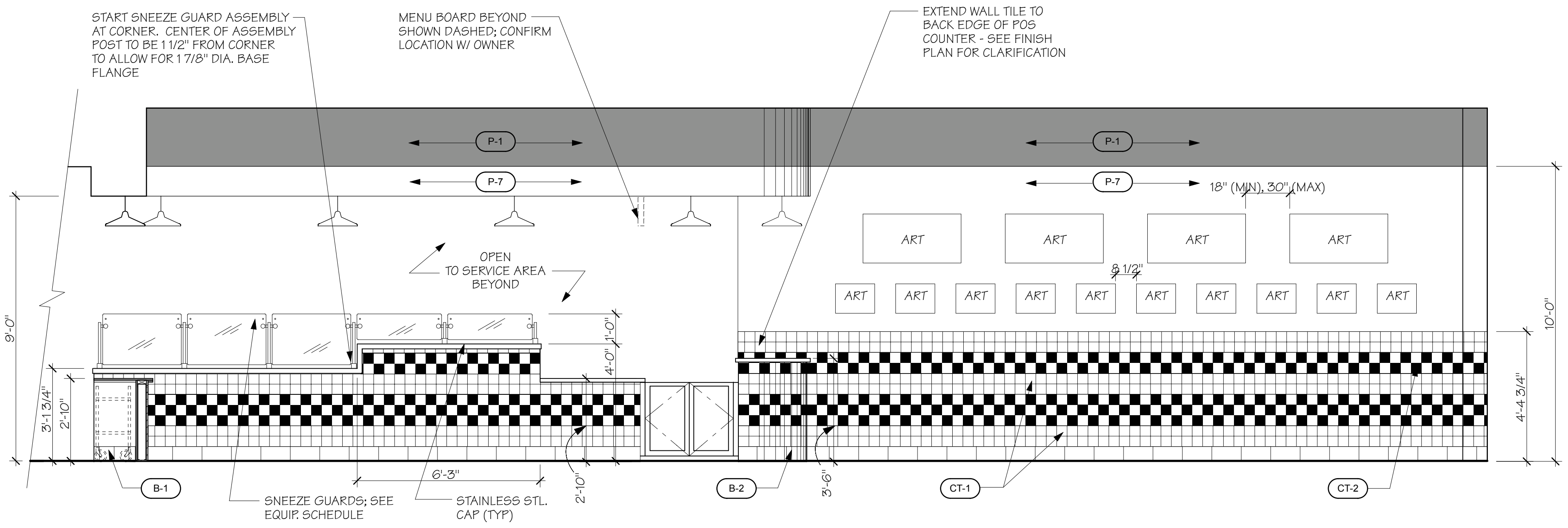
6 ELEV. @ DINING
SCALE: 3/8" = 1'-0"



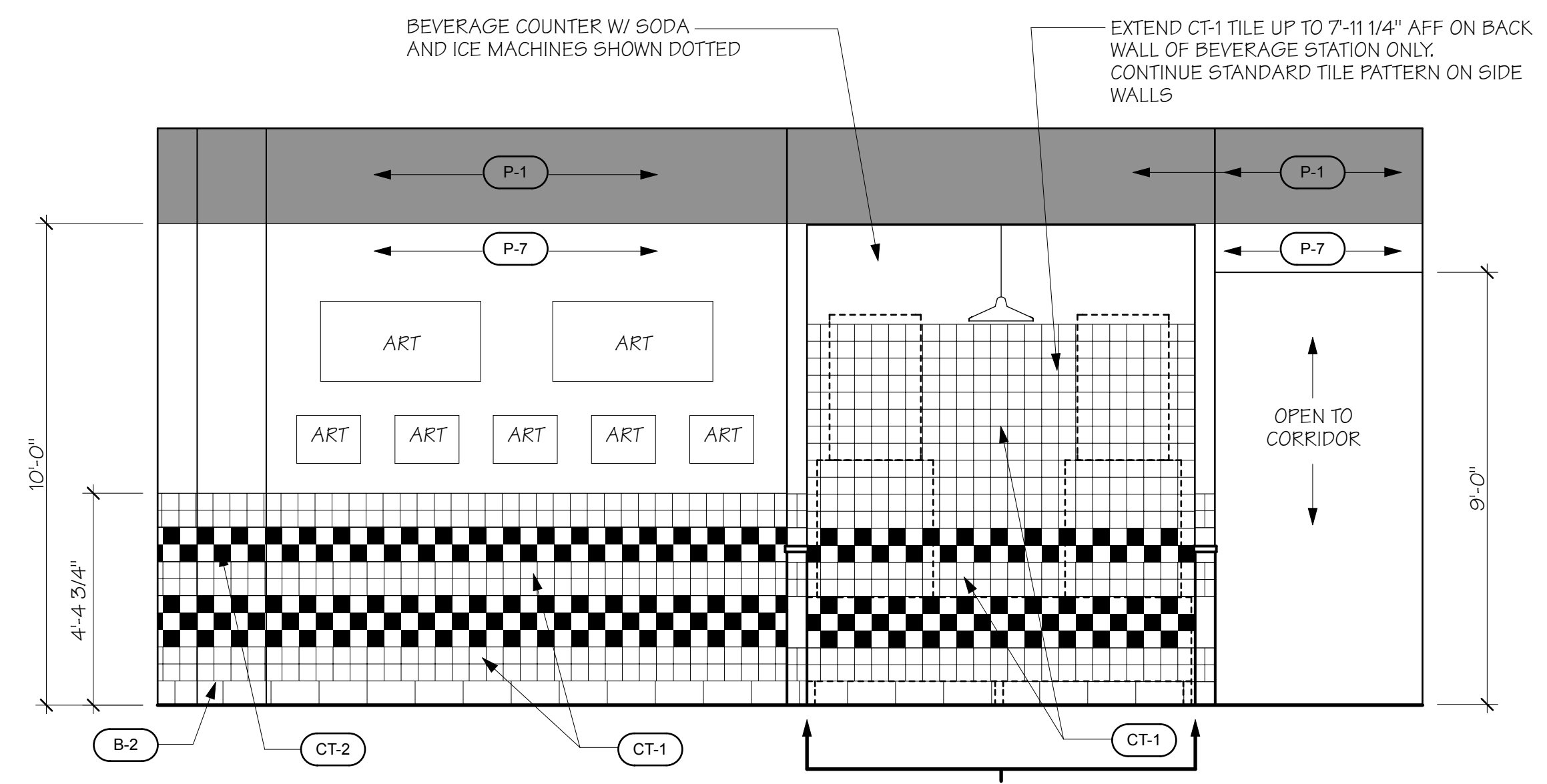
4 ELEV. @ DINING
SCALE: 3/8" = 1'-0"



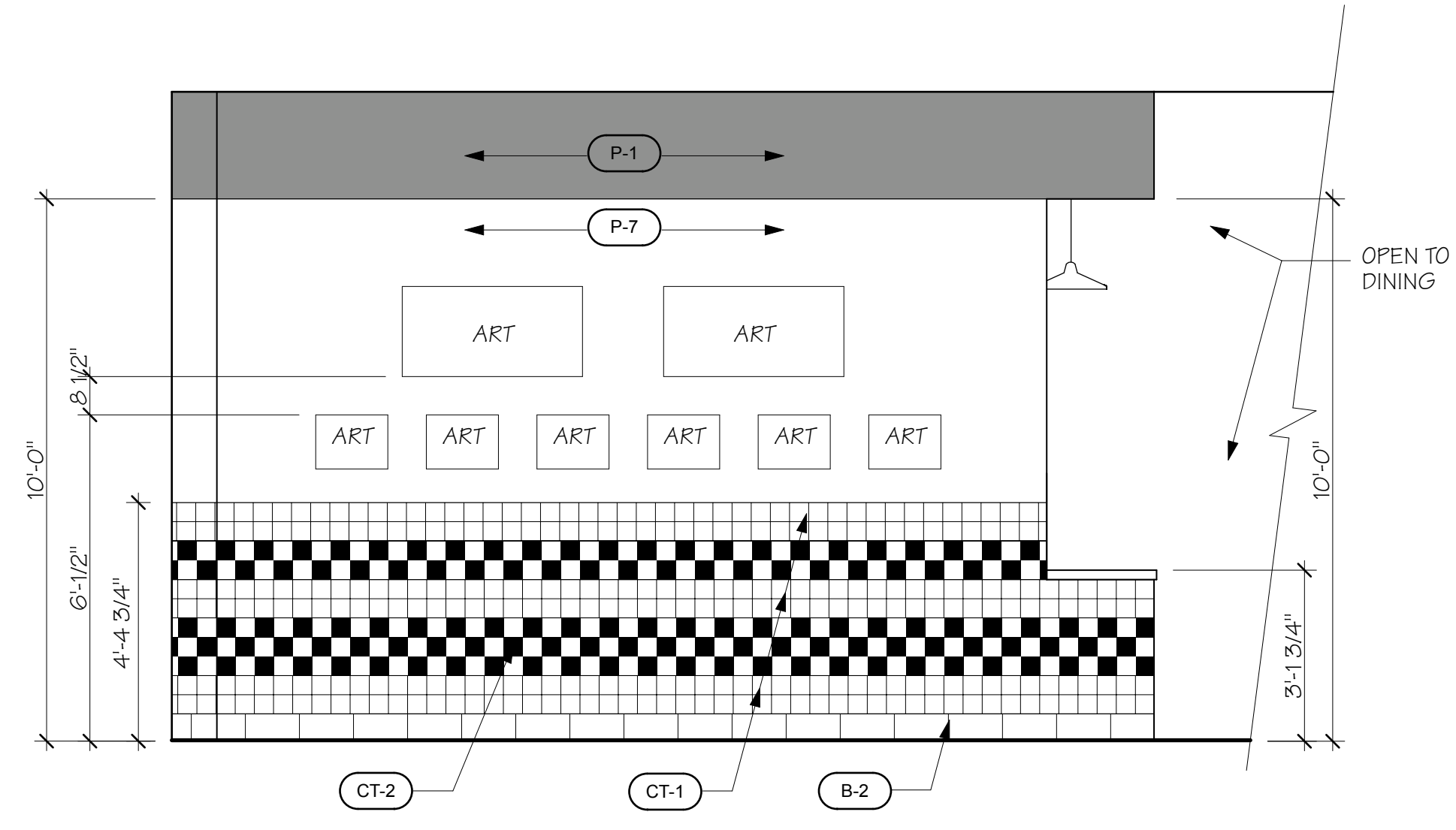
5 ELEV. @ DINING
SCALE: 3/8" = 1'-0"



3 ELEV. @ DINING
SCALE: 3/8" = 1'-0"



2 ELEV. @ DINING
SCALE: 3/8" = 1'-0"

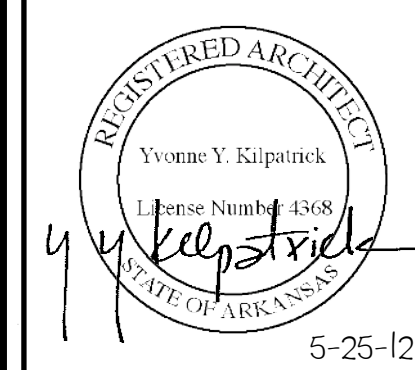
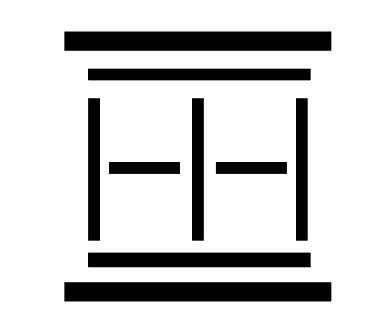


1 ELEV. @ DINING
SCALE: 3/8" = 1'-0"

SEE "BEVERAGE STATION ELEVATION" ON DRAWING A-8 AND PLUMBING DRAWINGS FOR FURTHER DETAILS

ELEVATION NOTES:

- APPLY WATERPROOF MEMBRANE 6" UP AND 12" OUT AT ALL WALL PARTITIONS AT KITCHEN AND SERVICE AREAS - BOTH SIDES. CHECK WITH THIN SET MANUFACTURER FOR RECOMMENDED PRODUCT AND INSTALLATION.
- TILE PATTERN TO BE ON ALL WALLS IN DINING, REST ROOMS AND ALL AREAS VISIBLE TO PATRONS. ALL SHEETING BEHIND TILES TO BE 5/8" DUROCK. ALL SHEETING BEHIND PAINTED SURFACES TO BE 5/8" GYPSUM BOARD. ALL SHEETING IN RESTROOMS TO BE MOISTURE RESISTANT. FULL TILES START AT BOTTOM. BULLNOSE TOP TILE AT ALL WALLS. CUT TILE AT TOP @ MILLWORK. TILE TO WRAP ONTO SILL UP TO MULLIONS AT STOREFRONT KNEEWALL.
- **NO ARTWORK ALLOWED ON SOFFITS, HOOD, OR STAINLESS STEEL WALL FINISH**
- **INTERIOR DECOR, WALL HUNG ART WORK, & INTERIOR SIGN PACKAGE TO BE SUPPLIED AND INSTALLED BY FIVE GUYS CORPORATE REPRESENTATIVE**



5-25-12

FIVE GUYS
BURGERS and FRIES
7110 ROGERS AVENUE, SUITE F
FORT SMITH, ARKANSAS 72903

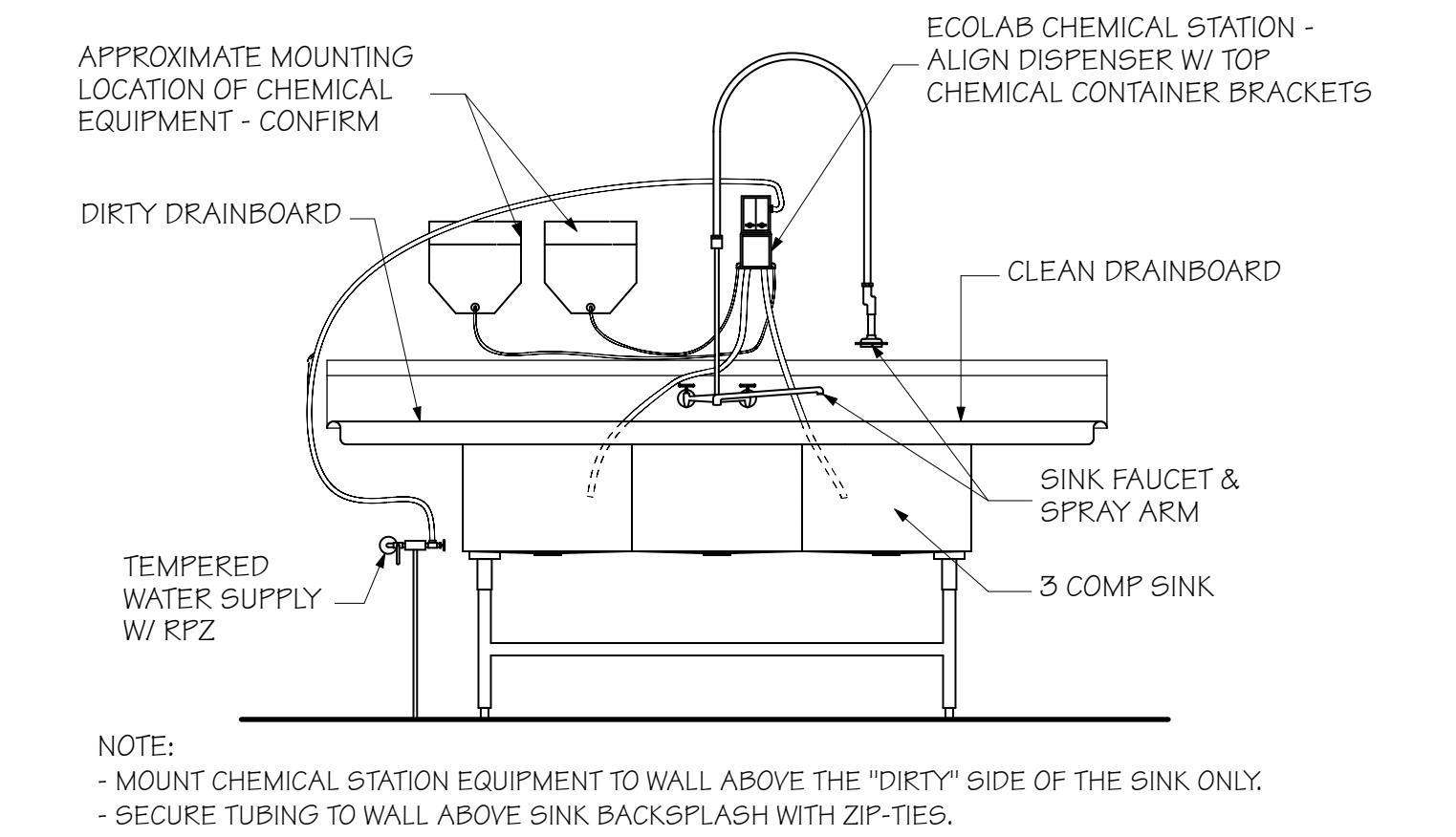
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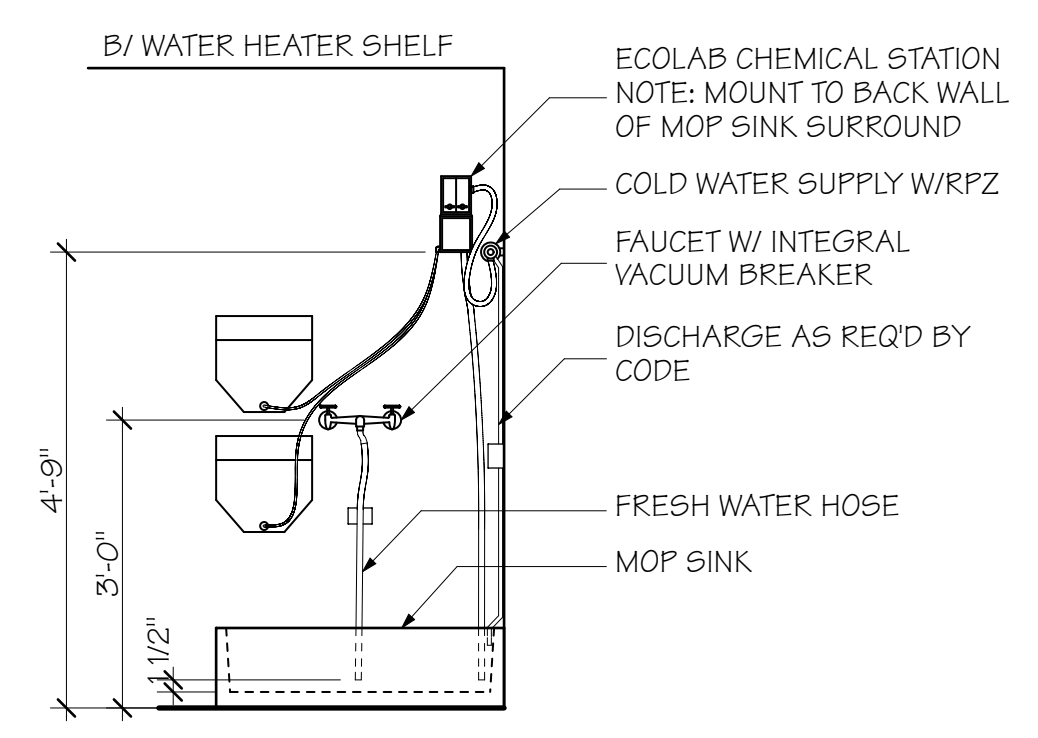
SHEET TITLE
DETAILS

PROJECT NO 1226	SHEET NO. A-8
DRAWN BY	DATE 5-25-12
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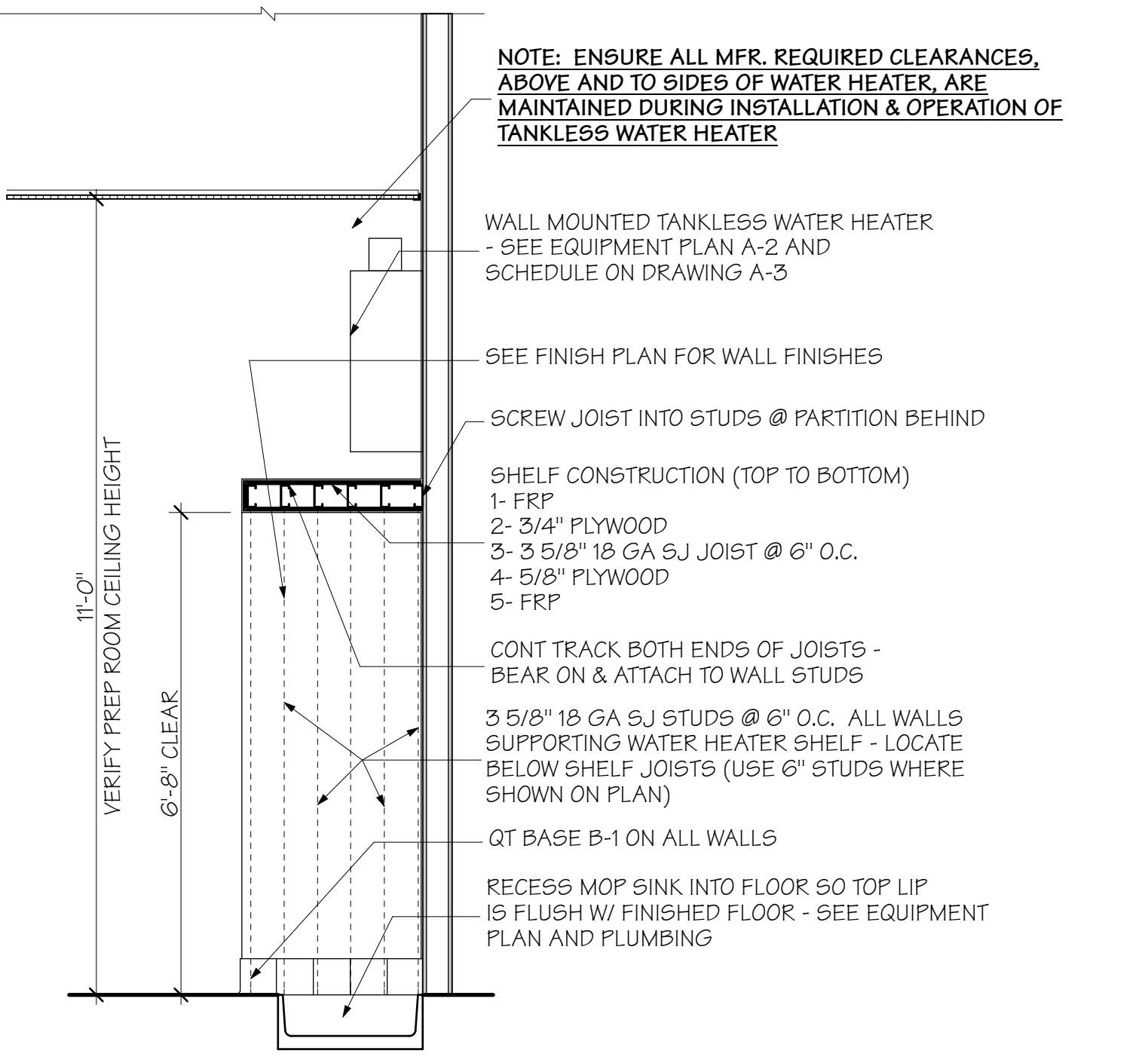


NOTE:
- MOUNT CHEMICAL STATION EQUIPMENT TO WALL ABOVE THE "DIRTY" SIDE OF THE SINK ONLY.
- SECURE TUBING TO WALL ABOVE SINK BACKSPLASH WITH ZIP-TIES.

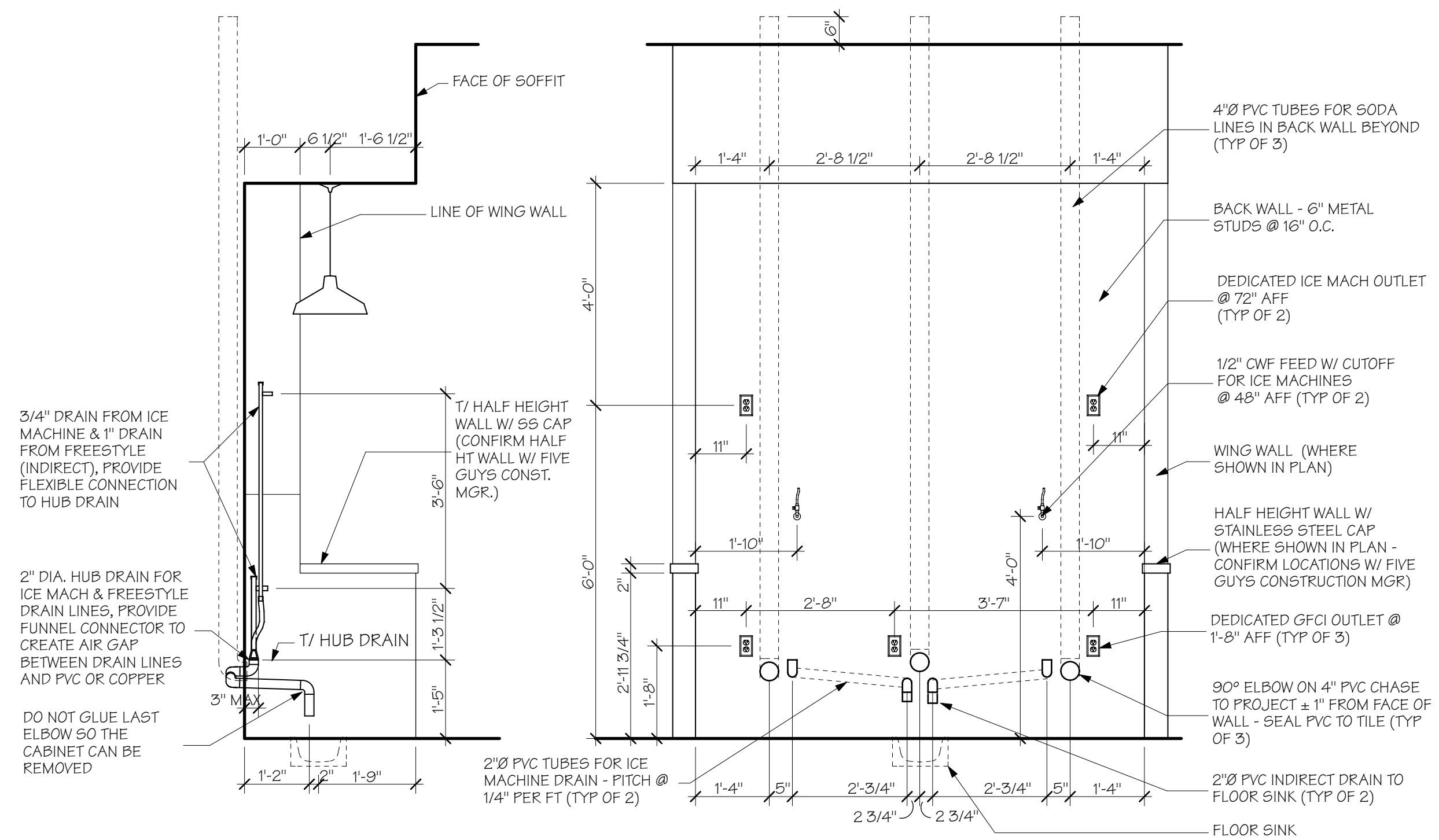
7 ELEVATION @ 3 COMPARTMENT SINK
SCALE: 1/2" = 1'-0"



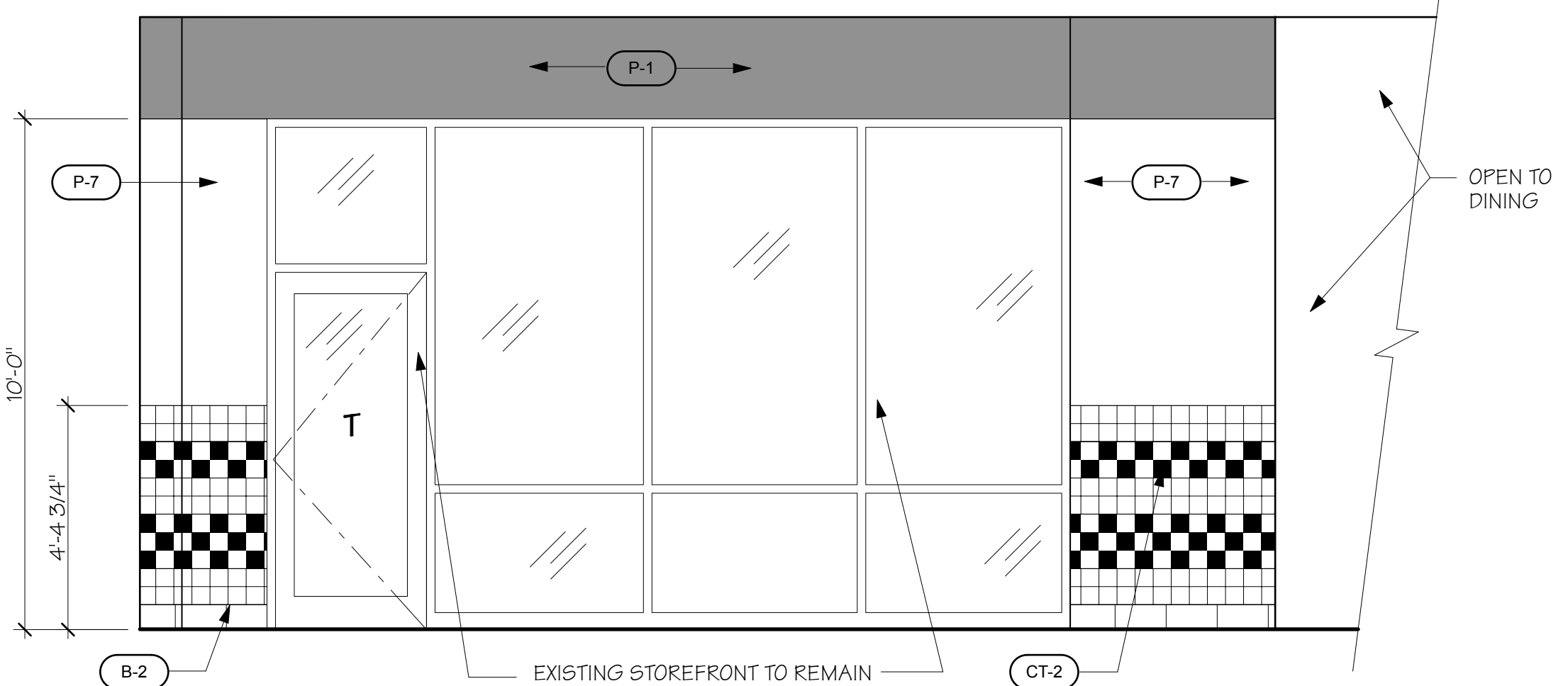
6 ELEVATION @ MOP SINK
SCALE: 1/2" = 1'-0"



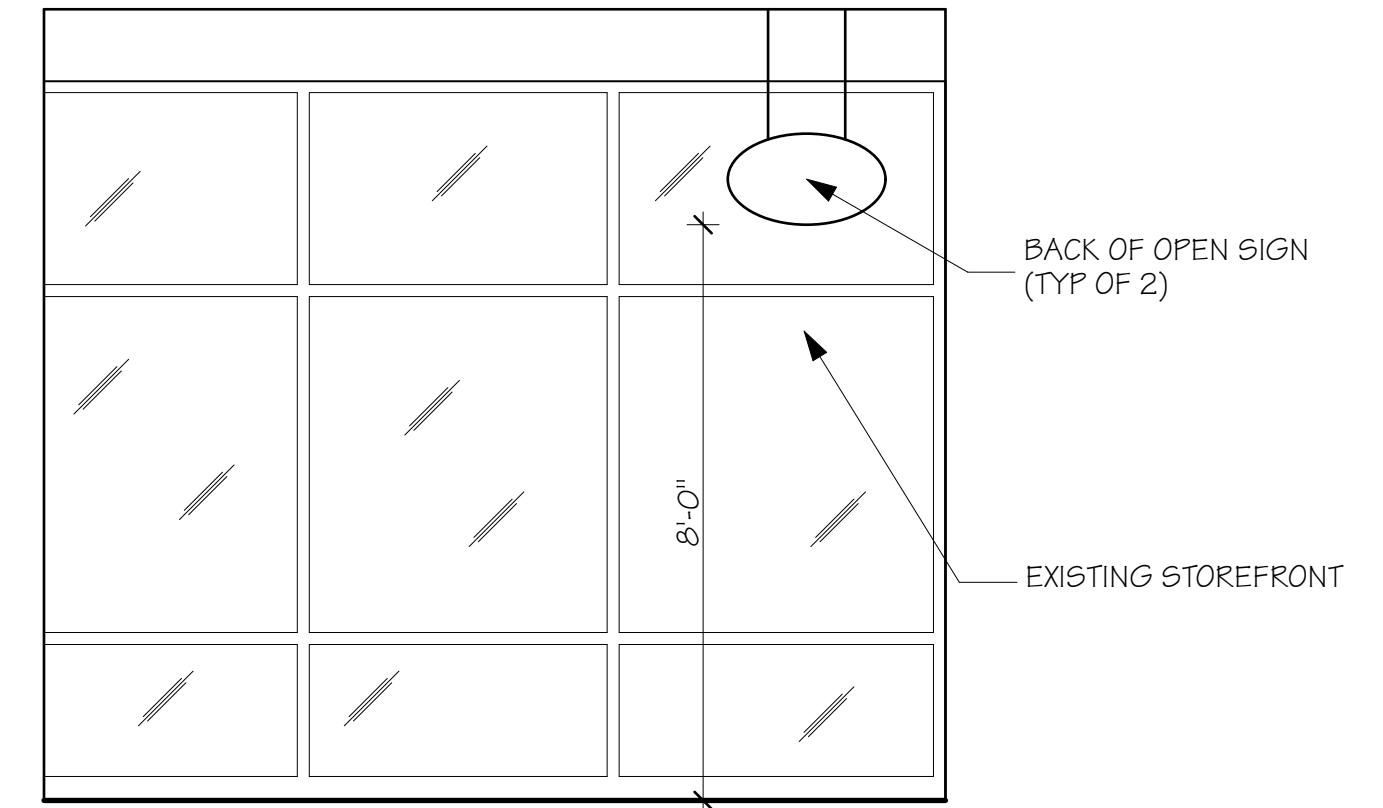
5 SHELF ABOVE MOP SINK
SCALE: 1/2" = 1'-0"



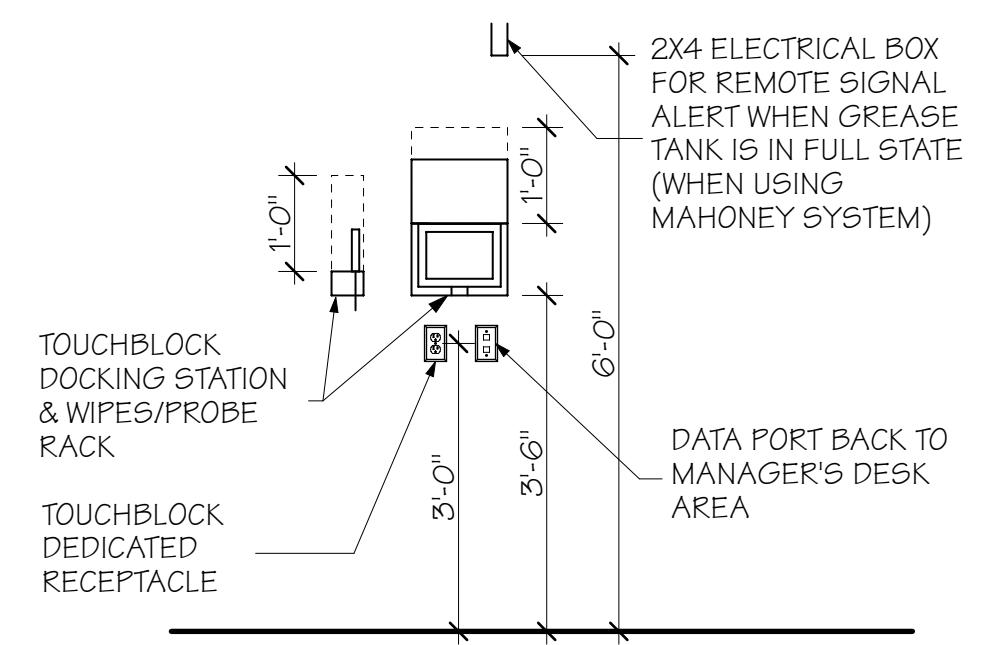
4 DETAIL @ BEVERAGE STATION
SCALE: 1/2" = 1'-0"



1 ELEV. @ DINING
SCALE: 3/8" = 1'-0"



2 OPEN SIGN
SCALE: 3/8" = 1'-0"



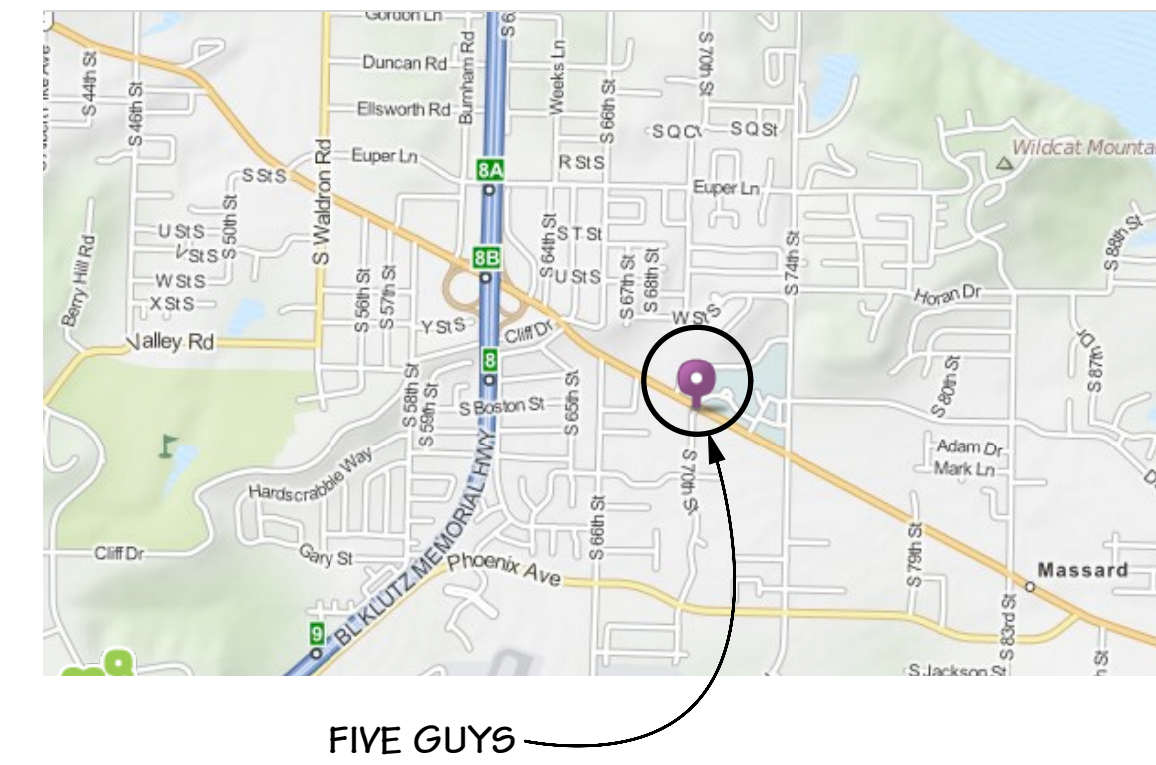
3 ELEV. @ TOUCHBLOCK
SCALE: 1/2" = 1'-0"

FIVE GUYS

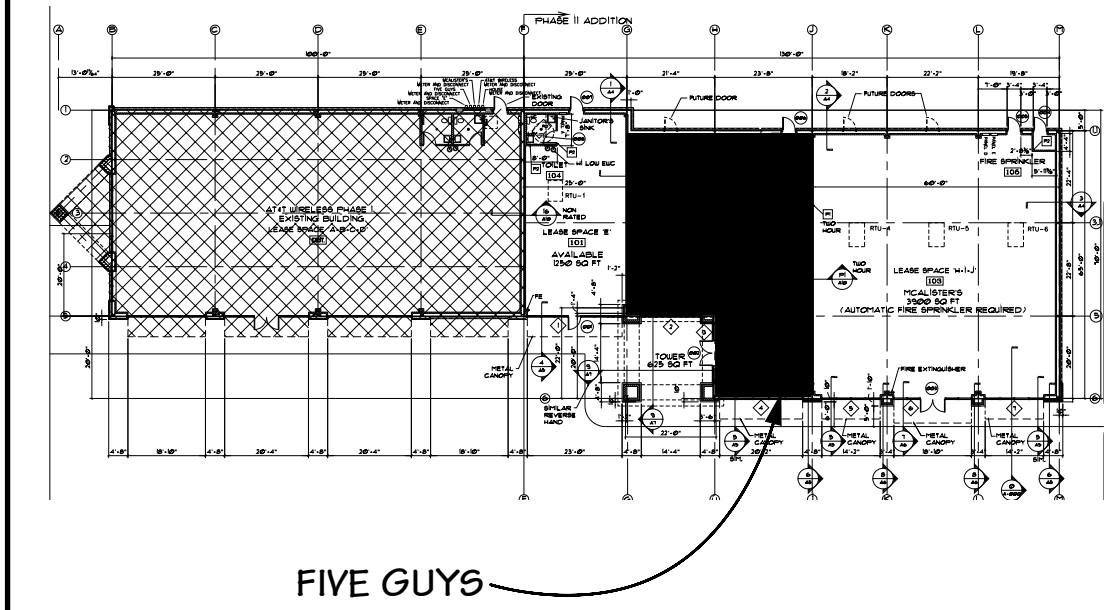
BURGERS and FRIES

7110 ROGERS AVENUE, SUITE F
FORT SMITH, ARKANSAS 72903

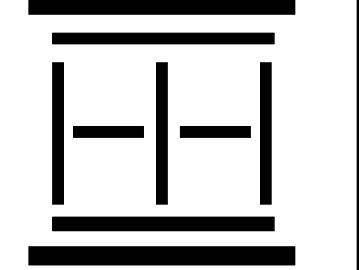
LOCATION PLAN



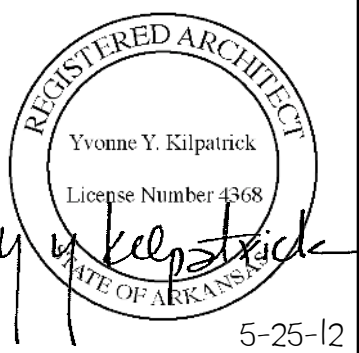
KEY PLAN



YVONNE Y.
KILPATRICK
ARCHITECT



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FIVE GUYS
BURGERS and FRIES
7110 ROGERS AVENUE, SUITE F
FORT SMITH, ARKANSAS 72903

PROJECT TEAM

OWNER:
FG ROGERS, LLC
dba FIVE GUYS FAMOUS BURGERS & FRIES
2923 LAKEWOOD VILLAGE DRIVE
NORTH LITTLE ROCK, AR 72116
PHONE: (703) 307-6462
CONTACT: LAURIE LOWE

ARCHITECTURAL:
YVONNE Y. KILPATRICK, ARCHITECT
3155 NORTH POINT PARKWAY, SUITE E-200
ALPHARETTA, GEORGIA 30005
PHONE: (770) 619-5916
FAX: (770) 619-5919
CONTACT: SHAWN REKROAT

MECHANICAL-PLUMBING:
MK ENGINEERING
181 SEDGEFIELD OVERLOOK
DALLAS, GEORGIA 30157
PHONE: (678) 642-7282
FAX: (770) 406-2381
CONTACT: TRACY M. WOODALL, PE

ELECTRICAL:
LASTINGER & ASSOCIATES, INC.
6290 ABBOTTS BRIDGE ROAD
SUITE 401
DULUTH, GEORGIA 30097
PHONE: (770) 622-7023
FAX: (770) 622-7025
CONTACT: TRAVIS LASTINGER, PE

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3	PROTOTYPE HOOD INFORMATION (N.I.C.)
4	PROTOTYPE HOOD INFORMATION (N.I.C.)
5	PROTOTYPE HOOD INFORMATION (N.I.C.)

PROJECT CRITERIA

PROJECT DESCRIPTION: FAST CASUAL BURGER RESTAURANT

CONSTRUCTION TYPE: TYPE II-B

FIRE PROTECTION: NOT SPRINKLERED

OCCUPANCY GROUP: ASSEMBLY (A-2) 2,550 S.F.

BUILDING AREA:

UNCONCENTRATED ASSEMBLY w/o FIXED SEATING	- 1,213 SF
COMMERCIAL KITCHEN AREAS	- 842 SF
STORAGE AREA	- 94 SF
AREA TO BE EXCLUDED FROM NET AREA	- 306 SF
OFFICE	- 95 SF

NOTE:
UNCONCENTRATED ASSEMBLY w/o FIXED SEATING - DINING
COMMERCIAL KITCHEN AREAS - PREP KITCHEN, FOOD SERVICE AREA
STORAGE AREA - WALK-IN COOLER
AREA TO BE EXCLUDED FROM NET AREA - TOILETS, CORRIDORS, WALLS, COUNTERS

CALCULATED OCCUPANT LOAD:

UNCONCENTRATED ASSEMBLY	- 1,213 SF / 15 =	81 PERSONS
COMMERCIAL KITCHEN	- 842 SF / 200 =	4 PERSONS
STORAGE AREA	- 94 SF / NA =	0 PERSONS
TOILETS, CORRIDOR, COUNTER	- 306 SF / NA =	0 PERSONS
OFFICE	- 95 SF / 100 =	1 PERSONS
TOTAL		86 PERSONS

EGRESS WIDTH CALCULATIONS: REQUIRED: 86 PERSONS x .2" PER PERSON = 17.2"
PROVIDED: 3 x 36" WIDE EXIT DOORS = 108"

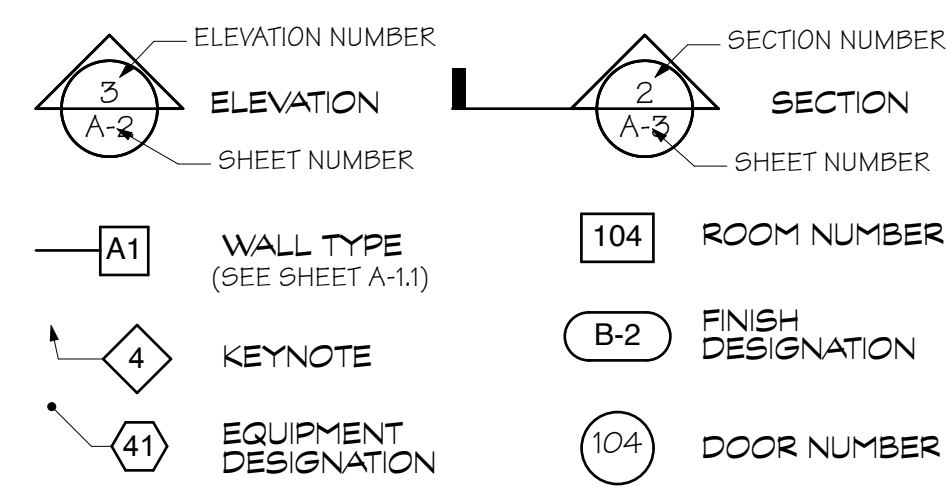
TRAVEL DISTANCE: MAXIMUM ALLOWED = 200 FT.
ACTUAL MAXIMUM = 106 FT.

PLUMBING FIXTURES: PER TABLE 4-1
CALCULATED OCCUPANCY LOAD = 86 PERSONS
86 PERSONS x 50% = 43 MEN, 43 WOMEN
WATER CLOSETS REQ'D = 1 PER 50 MEN = 1
= 1 PER 50 WOMEN = 1
LAVATORIES REQ'D = 1 PER 150 MEN OR WOMEN = 1 FOR EA SEX

GENERAL NOTES

- THE GENERAL CONTRACTOR (G.C.) SHALL VISIT THE PROJECT SITE, INVESTIGATE AND BECOME FAMILIAR WITH ALL VISIBLE CONDITIONS PRIOR TO BIDDING OR BEGINNING CONSTRUCTION. ADDITIONAL COSTS WILL NOT BE AWARDED FOR EXISTING CONDITIONS WHICH ARE VISIBLE AND/OR CAN BE REASONABLY ANTICIPATED.
- THE G.C. IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SITE GRADES, ETC. PRIOR TO CONSTRUCTION AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES THAT COULD AFFECT THE DESIGN AND COMPLETION OF THE PROJECT. BUILDING LAYOUT TO BE VERIFIED BY A LICENSED SURVEYOR WITH A WRITTEN VERIFICATION FORWARDED TO THE OWNER AND ARCHITECT.
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND STATE CODES, ORDINANCES AND STANDARDS.
- THE G.C. IS RESPONSIBLE FOR COORDINATING THE WORK OF ALL UTILITY COMPANIES AND PERFORMING ALL WORK REQUIRED BY THEM.
- THE G.C. SHALL PAY FOR AND OBTAIN ALL REQUIRED PERMITS, TEMPORARY UTILITIES, TAP FEES, CERTIFICATES OF OCCUPANCY, ETC.
- THE G.C. IS RESPONSIBLE FOR REVIEWING AND CONFORMING TO ALL CONTRACT DOCUMENTS. IN THE CASE OF APPARENT CONFLICTS AND/OR DISCREPANCIES IN THE CONTRACT DOCUMENTS, G.C. IS TO NOTIFY ARCHITECT IN WRITING OF SUCH APPARENT CONFLICTS AND REQUEST CLARIFICATION FROM THE ARCHITECT. NO ADDITIONAL COSTS OR DELAYS IN SCHEDULE WILL BE ACCEPTED DUE TO G.C.'S MIS-INTERPRETATIONS AND FAILURES TO REQUEST CLARIFICATIONS.
- DEVIATION FROM THE CONSTRUCTION DOCUMENTS REQUIRES THE WRITTEN APPROVAL OF THE OWNER AND/OR THE ARCHITECT.
- USE DIMENSIONS AS SHOWN ON THE DRAWINGS. DO NOT SCALE FROM THE DRAWINGS. WRITTEN DIMENSIONS & ALIGNMENTS SHALL GOVERN. ANY DISCREPANCIES, CONFLICTS, OMISSIONS, OR ERRORS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION AND/OR CORRECTION. G.C. SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED BECAUSE OF DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND THOSE INDICATED ON THE DRAWINGS, UNLESS THEY CONTRIBUTE TO A CHANGE IN THE SCOPE OF THE WORK. ANY DIFFERENCES WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR DECISION PRIOR TO PROCEEDING WITH THE WORK. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FINISHED FACE OF WALL U.N.O. VERTICAL DIMENSIONS ARE FROM FINISHED FLOOR U.N.O. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS NOTED.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH ESTABLISHED STANDARDS OR PRACTICES AS PUBLISHED BY RECOGNIZED AGENCIES, ASSOCIATIONS AND MANUFACTURERS AND APPLICABLE TO SPECIFIC CONSTRUCTION TRADES.
- ALL CONSTRUCTION PRODUCTS AND MATERIALS SHALL BE STORED, HANDLED AND INSTALLED IN ACCORDANCE WITH ALL MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- G.C. TO PROTECT ANY EXISTING CONSTRUCTION AND ALL EXISTING ABOVE & BELOW GRADE UTILITIES. THE LOCATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THE CONSTRUCTION DOCUMENTS ARE APPROXIMATE. THE G.C. IS RESPONSIBLE FOR VERIFYING THE EXISTENCE AND ACTUAL LOCATIONS OF SAME OR ANY NOT SHOWN PRIOR TO ANY EXCAVATION OR DEMOLITION. REPAIR OF DAMAGES RESULTING THEREFROM SHALL BE BORNE BY THE G.C.
- IF SITE-WORK IS TO BE PERFORMED UNDER A SEPARATE CONTRACT, ALL WORK IS TO BE COORDINATED WITH THE SITE WORK DOCUMENTS. PROVIDE ALL WORK SHOWN HEREIN AND ALL CONNECTIONS TO UTILITY LINES LOCATED APPROX. 5 FT FROM BLDG. G.C. IS RESPONSIBLE FOR COORDINATING AND PERFORMING ALL WORK ADJACENT TO AND/OR ABUTTING SITE WORK, SO AS TO PROVIDE A COMPLETE AND FINISHED PRODUCT. IT IS ALSO THE RESPONSIBILITY OF THE G.C. TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- G.C. TO PROVIDE ALL FIRE PROTECTION IN ACCORDANCE WITH ALL GOVERNING CODES AND AUTHORITIES. ALL FIRE SPRINKLER WORK SHALL BE PERFORMED BY A LICENSED SPRINKLER CONTRACTOR PER NFPA 13. FIRE SPRINKLER AND FIRE ALARM PLANS SHALL BE PROVIDED SEPARATELY FOR REVIEW AND PERMITTING PRIOR TO INSTALLATION. ALL HEADS SHALL BE RECESSED TYPE AND CENTERED IN ACoustICAL PANELS OR AS SHOWN ON ARCHITECTURAL PLANS.
- ALL MAIN & BRANCH SPRINKLER LINES ARE TO BE RUN AS HIGH AS POSSIBLE WITHIN THE ROOF STRUCTURE SPACE WHEREVER THIS IS POSSIBLE. WHERE LINES ARE RUN BELOW ROOF STRUCTURE, THEY ARE TO BE HELD AS TIGHT AS POSSIBLE TO BOTTOM OF STRUCTURE. ALL LINES ARE TO BE SUSPENDED FROM TOP JOIST AND GIRDER CHORDS. ANY CHANGES IN LINE ROUTING ARE TO BE AS 90° PARALLEL TO STRUCTURE.
- PROVIDE, LOCATE AND INSTALL ALL PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10 "PORTABLE EXTINGUISHERS". COORDINATE WITH THE LOCAL FIRE MARSHALL FOR ASSISTANCE.
- G.C. IS RESPONSIBLE FOR PROVIDING ALL NECESSARY BLOCKING AS REQUIRED TO SUPPORT ELEC PANELS, ACCESS ROOF LADDER, HANDRAILS, WALL MOUNTED SIGNAGE, TOILET ACCESSORIES, CASEWORK, ETC.
- WOOD PRODUCTS THAT ARE USED IN NON-COMBUSTIBLE BLDGS SHALL BE PRESSURE-TREATED WITH AN APPROVED FIRE RETARDANT IN ACCORDANCE WITH THE CURRENT EDITION OF ALL ADOPTED BUILDING CODES.
- ALL EXPOSED EXTERIOR WALL MOUNTED CONDUITS, GUTTERS, ELEC BOXES, PANELS BOXES, METERS, PIPES, ETC ARE TO RECEIVE MIN. ONE (1) COAT PRIMER AND TWO (2) COATS PAINT WITH ARCHITECT SELECTED COLOR.
- WOOD BLOCKING, PLYWOOD AND NAILED IN CONTACT WITH CMU OR CONCRETE BLDG COMPONENTS SHALL BE PRESSURE TREATED.
- GUTTERS AND DOWNSPOUT SHALL BE 20 GA. MINIMUM.
- PROVIDE CONTINUOUS SEALANT OR CAULKING IN CONTROL AND CONSTRUCTION JOINTS, AROUND BOTH SIDES OF STOREFRONT FRAMING AND METAL DOOR FRAMES, WHERE DISJUNCTURAL MATERIALS ABUT AND WHEREVER THE POTENTIAL FOR AIR OR MOISTURE INFILTRATION EXISTS, PROVIDE BACKER RODS WHERE SHOWN OR REQUIRED. FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR SURFACE PREPARATION AND APPLICATION. COLORS TO MATCH ADJACENT FINISHES.
- COORDINATE WITH SIGN VENDOR FOR POWER REQUIREMENTS AND JUNCTION BOX LOCATIONS FOR SIGNAGE. SIGNAGE SHALL BE PERMITTED SEPARATELY. PROVIDE ALL REQUIRED IN-WALL BLOCKING.
- FINISH MATERIALS AND SURFACES SHALL BE CLASS 'A' WITH A FLAME SPREAD RATING NOT TO EXCEED 25.
- ALL CEILINGS TO BE CLASS 'A' NON-COMBUSTIBLE TYPE. NO COMBUSTIBLE MATERIALS ARE TO BE PERMITTED ABOVE CEILINGS. CEILING SYSTEMS TO BE CONNECTED TO STRUCTURAL MEMBERS AT JOIST TOP CHORDS OR ADDITIONAL SUPPORTS ABOVE. DO NOT ATTACH TO UNDER SIDE OF ROOF DECK.
- G.C. IS TO BE RESPONSIBLE FOR PROVIDING ALL NECESSARY BRACING TO STRUCTURE, WHETHER OR NOT NOTED ON THESE DRAWINGS.
- THE LOCATION OF MECHANICAL & ELECTRICAL EQUIPMENT AND FIXTURES SHOWN ON ELECTRICAL OR MECHANICAL DRAWINGS ARE FOR SCHEMATIC USE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF SUCH EQUIPMENT AND FIXTURES.
- G.C. TO PROVIDE OWNER WITH ORIGINAL WARRANTY DOCUMENTS ON ALL OPERABLE ITEMS INCLUDING, BUT NOT LIMITED TO, HVAC SYSTEMS, WATER HEATER, ETC. ALSO INSURE THAT ALL SYSTEMS- MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, SPRINKLERS, ETC ARE IN PROPER WORKING ORDER BEFORE TURNING OVER TO FRANCHISEE.
- G.C. TO REMOVE FROM THE JOB SITE OR CONTAIN ALL CONSTRUCTION DEBRIS ON A DAILY BASIS.
- G.C. IS TO PERFORM FINAL CONSTRUCTION CLEAN-UP UPON COMPLETION OF WORK.
- NONE OF THE DRAWINGS HEREIN SHALL BE CONSIDERED AS COMPLETE OR FINAL, NOR SHALL THEY BE USED FOR CONSTRUCTION PURPOSES, NOR AS THE BASIS FOR CONSTRUCTION CONTRACTS UNLESS AND UNTIL THE AUTHORITY HAVING JURISDICTION HAS REVIEWED AND GIVEN THEIR FINAL APPROVAL OF THEM. THE APPROVAL PROCESS IS A CONTINUATION OF THE "DRAWING PREPARATION PHASE". WHEREAS THE ARCHITECT AND/OR ENGINEERS HAVE MADE EDUCATED AND EXPERIENCED INTERPRETATIONS OF THE VARIOUS AND RELEVANT BUILDING CODES, THE REVIEWING AUTHORITY HAS THE RIGHT TO FINAL AND BINDING INTERPRETATIONS OF SUCH CODES. PURSUANT TO A BUILDING AUTHORITY'S PLAN REVIEW, THERE MAY BE ADDITIONS, DELETIONS, OR REVISIONS REQUIRED IN ORDER TO OBTAIN THEIR FINAL APPROVAL. ANY RESULTING MONETARY COST OR PROJECT DELAYS RESULTING FROM SUCH REQUIRED CHANGES SHALL NOT BE CONSIDERED THE RESPONSIBILITY OR LIABILITY OF THE ARCHITECT AND/OR ENGINEERS. IN PURSUING THIS PROJECT, ALL PARTIES AGREE TO HOLD THE ARCHITECT AND/OR ENGINEERS HARMLESS IN ALL WAYS IN SUCH MATTERS.
- STANDARD GENERAL CONDITIONS: "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", AIA STANDARD FORM A-201 (COMPLETE CURRENT ADDITION) IS HEREBY MADE A PART OF THESE CONSTRUCTION DOCUMENTS TO THE SAME EXTENT AS IF HEREIN WRITTEN IN FULL.
- PRIOR TO STARTING WORK, G.C. & APPROPRIATE SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE & THE CONSTRUCTION DOCUMENTS TO ENSURE THEIR KNOWLEDGE OF ALL RELEVANT FIELD CONDITIONS & REQUIREMENTS AFFECTING THE WORK. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR THE G.C.'S OR SUBCONTRACTOR'S FAILURE TO COMPLY WITH THE REQUIREMENT.
- G.C. SHALL COORDINATE ALL ARCHITECTURAL, MECHANICAL, TELEPHONE, ELECTRICAL (INCLUDING LIGHTING), AND PLUMBING TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION & MAINTENANCE OF ALL EQUIPMENT IS PROVIDED.
- G.C. IS RESPONSIBLE FOR ALL PERMITS & FEES.
- THE WORK SHALL BE DONE IN ACCORDANCE WITH ALL RULES & REGULATIONS OF ALL APPLICABLE SAFETY & BUILDING CODES AS WELL AS THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES. ALL MATERIALS AND SYSTEMS SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND ALL CONSTRUCTION SHALL BE OF INDUSTRY STANDARD QUALITY OR BETTER. THE ARCHITECT SHALL BE ULTIMATE JUDGE OF QUALITY AS SETTED IN AIA DOCUMENT A2-1, AND SHALL COORDINATE SUCH WITH THE TENANT.
- G.C. SHALL CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL AND ELECTRICAL SYSTEMS. NO ALLOWANCES OF ANY KIND WILL BE MADE FOR THE G.C.'S NEGLIGENCE TO FORESEE MEANS OF INSTALLING EQUIPMENT INTO POSITION WITHIN STRUCTURES.
- G.C. IS RESPONSIBLE FOR RECEIVING AND ON-SITE STORAGE OF ALL SOFT-GOODS AND EQUIPMENT (SMALLWARES, ETC.) DURING REGULAR CONSTRUCTION HOURS.
- G.C. SHALL NOTIFY FRANCHISEE IN WRITING OF ANY DEFICIENCIES IN BASE BUILDING WORK PRIOR TO THE COMMENCEMENT OF THE WORK. ANY UNREPORTED DEFICIENCIES WILL BECOME THE RESPONSIBILITY OF THE G.C. TO CORRECT.
- G.C. IS RESPONSIBLE FOR, AND SHALL PROVIDE PROTECTION FOR ANY EXISTING FINISHES TO REMAIN. G.C. SHALL EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK, AND SCHEDULE THE WORK TO MINIMIZE DISTURBANCES TO ADJACENT SPACES AND/OR STRUCTURES AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. G.C. SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES. G.C. SHALL BE RESPONSIBLE FOR ANY OVERTIME COSTS INCURRED THEREBY.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECTURAL AND ENGINEERING DOCUMENTS (LIGHT FIXTURES, SWITCHES, THERMOSTATS, DIFFUSERS, ETC.), MILLWORK, AND/OR FIELD CONDITIONS SHALL BE CLARIFIED W/ THE ARCHITECT BEFORE INITIATING WORK.

SYMBOLS

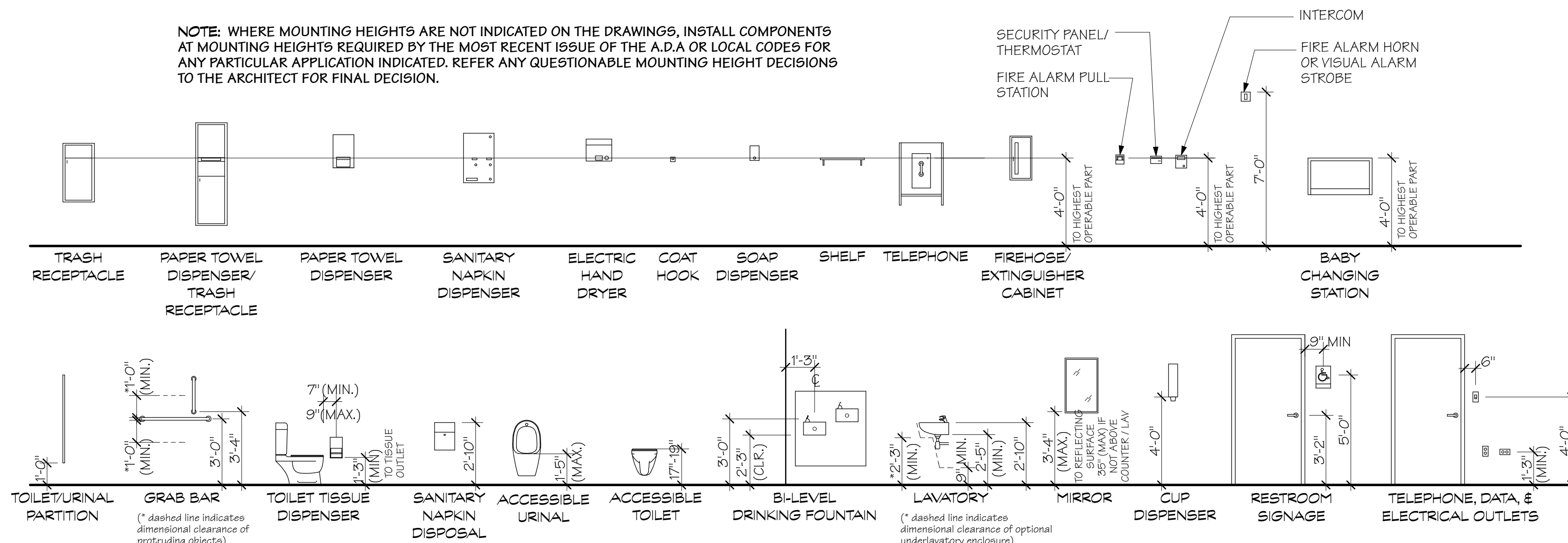


APPLICABLE CODES / YEAR

INTERNATIONAL BUILDING CODE (IBC), 2006 EDITION, with Local Ordinances
ARKANSAS FUEL GAS CODE (AFGC), 2006 EDITION, with Local Ordinances
ARKANSAS MECHANICAL CODE (AMC), 2010 EDITION, with Local Ordinances
ARKANSAS PLUMBING CODE (APC), 2006 EDITION, with Local Ordinances
NATIONAL ELECTRICAL CODE (NEC), 2011 EDITION, with Local Ordinances
2006 INTERNATIONAL ENERGY CONSERVATION CODE
2007 ARKANSAS FIRE PREVENTION CODE VOL. 1 & VOL. II (2006 IFC with Arkansas amendments)
2003 ANSI A117.1 AMERICAN NATIONAL STANDARDS

MOUNTING HEIGHTS

NOTE: WHERE MOUNTING HEIGHTS ARE NOT INDICATED ON THE DRAWINGS, INSTALL COMPONENTS AT MOUNTING HEIGHTS REQUIRED BY THE MOST RECENT ISSUE OF THE A.D.A OR LOCAL CODES FOR ANY PARTICULAR APPLICATION INDICATED. REFER ANY QUESTIONABLE MOUNTING HEIGHT DECISIONS TO THE ARCHITECT FOR FINAL DECISION.



REVISIONS

NO.	DATE	REVISION

INDemnIFICATION CLAUSE
THE OWNER SHALL RELEASE, HOLD HARMLESS, AND INDEMNIFY THE ARCHITECT WITH RESPECT TO: ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT OR CHANGES IN ANY ASPECT OF THE WORK, OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

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SHEET TITLE
COVER SHEET

PROJECT NO.	1226	SHEET NO.	
DRAWN BY		DATE	5-25-12
DATE	5-25-12	1 OF 1	

1 GENERAL REQUIREMENTS

1A-GENERAL REQUIREMENTS

1A-01. STANDARD GENERAL CONDITIONS
A. Except as modified below, "The General Conditions of the Contract for Construction," AIA standard form A-201, 1987 Edition, Articles 1-14, is hereby made a part of these specifications to the same extent as if herein written out in full.

1A-02. TENANT/OWNER/FRANCHISEE

A. Wherever the terms "Tenant," "Owner" and/or "Franchisee" occur in the Documents, they shall refer to the following:
FG ROGERS, LLC
dba FIVE GUYS FAMOUS BURGERS & FRIES
2923 LAKEWOOD VILLAGE DRIVE
NORTH LITTLE ROCK, AR 72116
PHONE: (703) 307-6462
CONTACT: LAURIE LOWE

B. Wherever the term "LANDLORD" occurs in the Documents, they shall refer to the following:

C. All questions or concerns related to these Documents shall be referred to
TENANT'S REPRESENTATIVE or
FIVE GUYS CONSTRUCTION REP: Mr. Brandon Higginbotham (404) 232-9216

1A-03. CONTRACTOR

A. Wherever the term "Contractor" occurs in the Documents, it shall refer to the General Contractor with whom the Tenant/Owner enters into a contractual agreement for the construction work described in these Drawings and Specifications.
B. The Contractor shall coordinate his work and shall cooperate with any other separate Contractor(s) employed by the Owner, so as to avoid delays.

1A-04. DEFINITIONS

"Furnished" and "supplied" are used interchangeably and have the same meaning.
"Install" means receive and acknowledge delivery, unload, safely store, protect, assemble, set in place, secure, and connect as required to complete work.
C. "Provide" means furnish and install.

1A-05. APPROVALS OF WORK TO BE PERFORMED

A. Prior to beginning work, Contractor shall obtain in writing, or verify that approval has been granted by the following parties:
1. The Landlord, Landlord's Architects and Engineers
2. The local Building Inspector and local Fire Marshall
3. State authorities as required

1A-06. CORRELATION AND INTENT OF CONTRACT DOCUMENTS

A. Prior to his bid submission, the Contractor shall examine the premises, and verify existing conditions, dimensions and Landlord requirements affecting the work under this Contract. Minor changes of dimensions or conditions necessary to fit new work to the existing in accord with the intent of the Contract Documents, may be made on the job. If major discrepancies are discovered between dimensions or conditions shown in Drawings and those actually existing, the Contractor shall report to the Owner, and shall not proceed with the work until the Contract Documents have been adjusted.

1A-07. BIDS & FORM OF AGREEMENT

A. Standard forms of cost breakdown will be provided by the Tenant.
B. At the discretion of the Tenant, the form of the Agreement shall be prepared by the Contractor and reviewed/amended by Tenant.

1A-08. COMPLIANCE WITH CODES, PERMITS AND LANDLORD REQUIREMENTS

All work of the Contractor and Subcontractors shall conform to the provisions of all state, City and County Building Laws, Ordinances and Regulations, and to Landlord Requirements. In case of conflict, the most stringent requirement shall apply.
B. G.C. to verify and coordinate all work to meet Landlord Drawings and Specifications, the Contractor shall give the Owner written notice specifying the proposed deviation, the costs involved, and the reason therefor. A Change Order shall be issued as specified in "Changes in the Work".
D. Unless the law specifically requires the Owner to do so, the Contractor shall obtain all necessary permits and licenses, give all necessary notices, and pay costs of all incidental fees.
E. G.C. to provide Landlord with a complete set of 'as-builts,' type as required by Landlord.
F. G.C. to obtain and comply with any pertinent Landlord exhibits prior to commencement of construction.

1A-9. INSURANCE AND INDENTIFICATION

A. The Contractor shall provide insurance as required by Tenant and Landlord.
1A-10. HOLD HARMLESS AGREEMENT
A. The Contractor agrees to indemnify and save harmless the Landlord, the Tenant/Owner, and the Architect, their agents and employees from and against any and all liability and damage arising from injuries to persons or damage to property occasioned by any act or omission of the Contractor, his Subcontractors, agents or employees, including any and all expenses, legal and otherwise, which may be incurred in the defense of any claim, settlement or suit.

1A-11. BARRICADES & SERVICE INTERRUPTIONS

A. Contractor shall, at his cost, install and remove barricades required by Landlord.
B. Contractor shall perform demolition required by the work, and shall remove from the premises resulting debris. During construction, all debris shall be contained within the tenant space.
C. Unless otherwise specifically stated in the Contract Documents, all existing materials to be removed and not required to be reused, shall become the property of the Contractor.
D. Services to occupied areas of the Landlord, including but not limited to electricity, water, air conditioning, plumbing, sprinkler, and telephone, must be maintained at all times. When service interruptions are unavoidable they must be arranged in advance with the Landlord.

1A-12. TEMPORARY UTILITIES

A. Contractor shall coordinate with Landlord all temporary utility connections required to perform the work, and shall pay all charges for utilities during construction.

1A-13. STORAGE

A. The Contractor shall coordinate with the Landlord the storage of all building materials, tools, and equipment.
B. The Contractor shall coordinate with the Landlord the delivery and transportation of materials through the building to the storage area.
C. All storage to comply with Landlord requirements.

1A-14. SHOP DRAWINGS

A. Prior to ordering equipment or fabricating fixtures, Contractor shall submit to the Tenant reproducible shop Drawings, product data or samples, if required, which reflect dimensions, utility requirements and installation requirements consistent with the Drawings.

1A-15. SUBSTITUTIONS

A. All pricing shall be based on the construction documents without substitution or alteration. The General Contractor shall call out and clearly identify proposed substitutions. Proposed substitutions shall be reviewed by the Architect and Owner and they shall have final authority to accept or reject substitutions as "equal" to the specified item or assembly. Any qualifications to the bid proposing alternative systems, materials, methods, etc. (which in the General Contractor's opinion reduce the total cost to the job) shall be outlined and attached to the bid for review by the Architect and Owner. If the General Contractor does not identify and receive Owner approval for substitutions, then the Owner retains the right to demand that the products or construction method originally specified be installed without additional expense to the Owner.

1A-16. TAXES

A. Contractor shall assume liability for (1) sales taxes, (2) federal and state unemployment compensation and Social Security payments, and (3) all other federal and state required payments.

1A-17. JOB SAFETY

A. The Contractor shall take all necessary precautions for the safety of employees, and comply with applicable provisions of Federal, State and Municipal Safety laws to prevent accidents or injury to persons on or adjacent to the premises.
B. Machinery, equipment, and all hazards shall be guarded or eliminated in accordance with the safety provisions of the "ACGI" Manual of Accident Provision in Construction" to the extent that such provisions are not contrary to applicable law or requirements of OSHA.

1A-18. OWNER'S RIGHT TO TERMINATE THE CONTRACT

A. Should the Contractor neglect to prosecute the work properly, or fail to perform any provisions of the Contract, the Owner, after three (3) days written notice to the Contractor, without prejudice to any other remedy it may have, shall make good the deficiencies and may deduct the cost thereof from the payment then or thereafter due the Contractor, or, at its option, may terminate the Contract and take possession of all materials, tools and appliances and finish the work by such means as it sees fit, and if the unpaid balance of the Contract price exceeds the expense of finishing the work, such excess shall be paid to the Contractor, but if such expense exceed such unpaid balance, the Contractor shall pay the difference to the Owner, including administration costs associated with expedition of Section 1A-18.

1A-19. GUARANTEES

A. Unless specifically stated otherwise, all materials and equipment provided under this Contract shall be new and free from defects.
B. The Contractor shall guarantee all work for a period of one (1) year from the date of acceptance by the Tenant/Owner/Franchisee. Lamps shall be guaranteed for a period of one month from acceptance.

C. Contractor shall promptly correct all deficiencies which may appear in the work within one year of its completion arising from defective or improper material or workmanship, including all costs in connection with removal or replacement of the work.
D. A Manufacturer's Warranty on any item shall not relieve the Contractor and/or his Subcontractor from full responsibility under all guarantees called for in the Specifications.
E. All warranties or guarantees shall be written to the benefit of both Landlord and Tenant/Owner as their respective interests appear, and shall permit enforcement by either party.
F. Original copies of all warranties shall be furnished to the Tenant/Owner/Franchisee at the completion of the job.

1A-20. CLEANING UP

A. Premises must always be kept free from waste materials.
B. At completion of the work, millwork, floors, etc. shall be cleaned. The Contractor shall remove his tools, scaffolding and debris, and shall leave the premises broom clean.
C. Contractor shall assemble and transmit to the Tenant/Owner/Franchisee, maintenance and operation manuals, warranties and keys, and shall demonstrate to the Tenant/Owner, the usage of equipment.

1A-21. OWNER - CONTRACTOR AGREEMENT

All items contained in the Plans and Specifications and the terms and conditions of the Owner - Contractor Agreement shall govern.

1A-22 MISCELLANEOUS CONSTRUCTION PROCEDURES

A. The Contractor shall not attach or cause to be attached to any wall or structural member any equipment that may, by virtue of its size and weight, cause structural damage. The Contractor shall not do anything that might in any way affect the structural integrity of the building.
B. Protect existing building from damage throughout the construction period. Repair any such damage to match existing construction.
C. All doors shall be made secure at the completion of each work day. The Contractor shall be solely responsible for the security of the site.
D. G.C. shall comply with all Landlord security procedures for workers and vehicles.

5 METAL

5A-01. GENERAL

A. All welding to comply with standards set by the American Welding Society's "Structural Welding Code".
B. Take field measurements prior to fabrication.
5A-02. MATERIAL
A. Exposed fastenings shall be same material, color, and finish as material to which applied.
B. Metal shapes: material, size, and manufacturer as shown on Drawings.
C. Primer paint to be compatible with required finish paint.

5A-03. INSTALLATION

Provide fasteners as required to secure metal to existing construction.
A. Grind welds smooth.

6 CARPENTRY

6A-CARPENTRY

6A-01. GENERAL
A. All wall framing and furring shall be metal studs and channels.
B. The Contractor shall submit shop drawings for all casework to Owner for approval prior to fabrication.
C. The work of this section shall accommodate built-in electrical & plumbing work, and provide adequate space for lighting, concealed conduit and cable runs, and removable sections of casework where required for access to conduit, wire boxes, ballasts, etc. Verify locations of all such concealed items and indicate same on shop drawings. This work shall be coordinated with electrical & plumbing work.

6A-02. MATERIALS

A. Blocking shall be Southern Yellow Pine, No. 2, S4S or cut to shape as required, kiln dried to 19% maximum moisture, treated with Celcure, and be fire-retardant pressure treated.
B. Rough hardware shall meet the standards of the trade and the needs of the work. Powder actuated fasteners shall be of the type and size suitable for the intended use.
C. Medium Density Fiberboard (MDF) shall be attached to metal studs with steel screws.
D. Medium Density Fiberboard (MDF) shall be attached to masonry with metal furring and screws.

6A-03. INSTALLATION

A. Carpentry work shall conform to the best standards of the practice. Work shall be laid out in accordance with the Drawings, and to accommodate work of other trades.
B. Doors and hardware shall be installed so that doors will swing easily, quietly and freely, and close accurately against stops without binding. Latch bolts must engage positively with strikes when doors are closed.
C. Provide all necessary bracing to structure for partitions, ceilings, platforms, etc., whether or not called for on Drawings.
D. Provide all necessary in-wall framing and blocking required to carry shelving, standards, valances, etc., whether or not called for on Drawings.
E. All casework fasteners to be concealed. All casework wiring to be concealed.
F. All exposed plywood surfaces, both faces of doors and drawers, and all edges shall be finished in plastic laminate.
G. Install all work plumb, level, true, aligned, and straight with tight joints and no distortions. Shims as required using concealed shims. Install to a tolerance of 1/8" in eight feet, 1/32" max. offset in flush adjoining surfaces.
H. Scribe and cut work to fit adjoining work, and refinish cut surfaces.
J. Install all exposed finish material with minimum number of joints possible, using full length pieces to the greatest possible extent.

8 DOOR & HARDWARE, GLAZING

8A-DOORS & HARDWARE

8A-01. GENERAL

A. Doors and hardware shall be of size, material, and finish as shown on Drawings.
B. Rolling grilles shall be of material and manufacturer as shown on Drawings. The Contractor to verify exact size required. Submit shop drawings to Tenant for approval prior to fabrication and installation.

8A-02. MATERIALS

A. Refer to Drawings for door materials and hardware specifications.
B. Provide "Best" cylinders with removable 7-pin cores to match the Landlord's keying system requirements, if applicable. Provide construction cores and keys.

8A-03. INSTALLATION

A. All hardware shall be tight, level, and shall operate smoothly and easily. Follow manufacturer's instructions for installation and adjustment.
B. Door levers to be mounted 42" o.c. above finished floor, verify finish with Tenant.

8B-GLAZING

8B-01. GENERAL

A. Provide glass in sizes and thickness shown on Drawings. If thickness is not shown, provide the minimum thickness required for sheet size and application.

8B-02. MATERIALS

A. Glass: clear, tempered glass (glazing quality).
B. Mirrors: 1/4" thick, mirror glazing quality tempered plate or float glass with silver coating and electrolytically copper plated back. Provide industry-standard adhesive.
C. All glass and mirror to have polished edges.

8B-03. INSTALLATION

A. Provide all shims, blocks, glazing compounds, and other appurtenances required for a first-class installation in accordance with standard trade practice.

9 FINISHES

9-01. GENERAL

A. Any combustible interior finish material, surface or product shall be provided per the requirements of the respective occupancy chapter of the NFPA 101 Life Safety Code current Edition, that this project is being permitted under. Provide verification at the time of final inspection that the products comply with the requirements.

9A-GYPSUM DRYWALL

9A-01. GENERAL

A. All finish materials and surfaces shall be class 'C' with a flame spread rating not to exceed 25.
B. All wall framing and furring shall be metal studs and channels to ceiling @ 24" o.c. with bracing to structure @ 48" o.c. (max.)
C. In-wall blocking shall be provided at all wall-hung items.

9A-02. MATERIALS

A. Gypsum wallboard shall be ASTM C36 "Sheetrock" as manufactured by the U.S. Gypsum Co., or equal. Thickness and type as noted, with tapered edges. Use Type X gyp. board where fire rating is required.

B. Joint reinforcing tape, adhesive and metal corner reinforcement to be standard products recommended by the Wallboard Manufacturer.
C. Fasteners shall be self-drilling, self-tapping, countersunk, bugle-head drywall screws for attachment of wallboard to metal studs. Use gypsum wallboard nails for attachment to wood studs.
D. Structural studs shall be punched or unpunched, 16 gauge steel having a minimum yield point of 33,000 psi, sizes as indicated.
E. Non-load-bearing studs shall be, channel-type, roll-formed from 20 gauge electro-galvanized steel, sizes as indicated. (unless otherwise shown)
F. Furring channels shall be roll-formed, 25 gauge minimum, electro-galvanized steel hat section with wing flanges, sizes as indicated.

9A-03. INSTALLATION

A. Installation of "Sheetrock Firecode" shall be in accordance with Manufacturer's Recommendations for fire-rated partitions.
B. Gypsum wallboard shall be attached to metal studs with steel screws. All joints shall be taped and finished smooth with spackling compound.
C. Gypsum wallboard shall be attached to masonry with metal furring channels and screws with all joints taped and finished smooth.

9B-RESILIENT FLOORING

9B-01. MATERIALS

A. See Finish Schedule for size,color, and manufacturer.
B. Edge and reducer strips shall be molded rubber at all locations where edge of tile would otherwise be exposed. Strips to finish flush with surface of flooring.
C. Bases to be set-on type rubber. See Finish Schedule.
D. Adhesive shall be type as recommended by Tile Manufacturer.

9B-02. INSTALLATION

A. Check floor for clean, dry condition, and the surface for imperfections and unevenness. Contractor shall correct surfaces prior to beginning installation. Faulty work due to imperfect slab conditions will not be accepted. Minor imperfections such as pits and scratches shall be filled by Flooring Contractor with "Floor Stone" or other approved non-gypsum, non-lime leveling material, shrink-proof and water resistant.
B. Application shall not begin until the work of all other trades, including painting, is complete. Maintain all rooms and sub-floors at a minimum of 70 degrees F. for at least 48 hours before, during, and 48 hours after application of tile.
C. Follow printed instructions of the Tile Manufacturer, especially regarding the storage and application of tile, cement and base.
D. Upon completion of the installation, clean floors and base as recommended by tile manufacturer and leave in satisfactory condition.

9B-03. GUARANTEE

A. Guarantee resilient flooring work in writing against defects in labor and materials for a period of one year from date of acceptance.

9C-TILE

9C-01. GENERAL

A. Comply with minimum temperature recommendations of manufacturers for factory mixed setting and grouting materials.

9C-02. MATERIALS

A. See Finish Schedule for size and manufacturer / distributor of tile.
B. Setting materials: Use mortar formula for thin-set cement of the Tile Council of America, as manufactured by L&M SURCO, Inc., or equal.
C. See Finish Schedule for grout specification and manufacturer.
D. Provide edge strips as shown on drawings.

9C-03. INSTALLATION

A. Apply over concrete, waterproof gypsum wallboard, sealed plywood, or other materials as indicated on Drawings, using approved thin-set cement formula.
B. Clean and level all surfaces as necessary to provide even surfaces, level, true and plumb. In the event surfaces to receive tile are not acceptable, notify the appropriate party prior to tile installation.
C. Center tile within tiled area as shown on Drawings.
D. Terminate work neatly at obstructions, edges, and corners without disrupting pattern or joint alignments.
E. Jointing pattern: unless otherwise shown, lay tile in grid pattern. Provide uniform joint widths.
F. Clean tile as work progresses, preventing accumulation of setting and grouting materials or debris in tile faces.

9D-PAINTING AND FINISHING

9D-01. MATERIALS

A. Paint shall be brought to the jobsite in unopened containers. See Finish Schedule for type, colors and manufacturer.
B. Mix paint only in accordance with the Manufacturer's printed instructions. Turpentine shall be distilled, and oil shall be boiled and filtered linseed oil.
C. Oil-based paints and enamels shall be factory prepared and packaged materials by approved Manufacturers.

9D-02. WORKMANSHIP

A. Inspect all surfaces to be painted and report deficiencies prior to beginning painting.
B. Point up holes and cracks, remove all grease, stains and excess mortar by wire brushing before painting.
C. All surfaces shall be dry and sanded properly. Fill small nail holes with putty, and larger voids with plastic wood and sand smooth. All millwork not primed before delivery shall be primed or sealed immediately upon arrival at the job site.
D. Allow ample drying time between coats, and sand properly to give a smooth finish. Carefully cover back edges of trim, edges of doors, and touch up any places marred by installation of hardware or work of other trades.
E. Seal door edges immediately after fitting.
F. Carefully protect other work and leave the job clean.

9D-03. CLEANING

A. On completion remove all surplus materials and scaffolds from the premises and leave the premises clean.
B. Remove all paint from floor, hardware, glass and other surfaces not painted.
C. Touch-up as necessary after patching and repair of other trades.

9E-ACOUSTICAL WORK

9E-01. MATERIALS

A. Acoustical panels shall be as shown on Finish Schedule. Install as per Manufacturer's Recommendations.
B. Ceiling suspension system shall include all main tees, cross tees, wall moldings, and all other accessories required for a complete installation. Maximum dimension between supports shall be 48 inches.
C. All ceilings to be class 'A' non-combustible type. No combustible materials are to be permitted above ceilings. Acoustical tile ceiling and suspension system shall conform to all applicable codes and standards.

9E-02. FIRE-RATED CEILING

A. Where required by the Drawings or where required to conform to fire rating regulations of the Local Building Authority, provide hold-down clips for ceiling tile plus all other accessories necessary for a complete fire-rated installation.

9E-03. INSTALLATION

A. Installation of the ceiling shall be the pattern indicated on the reflected ceiling plan, and shall coordinate with mechanical, electrical and sprinkler system requirements.
B. All items to be supported shall be hung with wires of the size and spacing to support the ceiling system and all other and all other work supported therefrom. Maximum spacing of wires shall be 48 inches o.c. Hangers shall be not less than 12-gauge galvanized steel wire. Ceiling suspension system to be connected to structural members at joist top chord or additional supports above.
C. System shall be square and level with deflection not to exceed 1/8 inch in 10 feet.

9E-04. CLEANING

A. Grid and all tiles shall be thoroughly clean and free from matts, cuts, indentations, spots, foreign paint and other blemishes and imperfections, or shall be replaced.

9E-05. REPLACEMENT MATERIALS

A. Contractor shall provide five (5) full tiles of replacement material at the completion of the project. G.C. to mark outside of box "EXTRA CEILING TILES".

9E-06. WARRANTY

A. Provide ceiling system guarantee in writing against defects in labor, materials, and maximum deflection of 1/180th of the span for a period of one year from the date of owner acceptance.
B. Primer: as recommended by wall covering manufacturer.

9F-WALL COVERING

9F-01. MATERIAL

A. Adhesive: ready mixed, mildew resistant, non-bleeding, non-staining, freeze/thaw stable, as recommended by the wall covering manufacturer for substrate and compatible with primer. Adhesive shall allow strip-ability without damage to primed wall surface.
B. Primer: as recommended by wall covering manufacturer.

9F-02. INSTALLATION

A. Prime wall surfaces to receive wall covering.
B. Do not overlap wall covering panels.
C. Apply adhesive to wall for installation of fabric wall covering, not to wall covering.
D. Trim edges tightly against abutting materials, maintaining smooth, even line and tightly bonded edge, unless otherwise shown on details.

10 SPECIALTIES

10A-SPECIALTIES

10A-01. FIXTURES AND EQUIPMENT INSTALLATION
A. Contractor shall accept and acknowledge delivery, provide all labor and material necessary to suitably store and install all casework, fixtures and equipment shown to be installed on the Plan.
10A-02. MISCELLANEOUS SPECIALTIES
A. Furnish and/or install specialties as shown on the Plan, unless otherwise noted.
10A-03. SIGNS
A. Illuminated and non-illuminated STOREFRONT signs and lettering shall be furnished and installed by Contractor unless otherwise noted within these Contract Documents. The Contractor to submit Shop Drawings to Landlord and Tenant for approval prior to fabrication.
B. Non-illuminated wall plaques, decals and logos furnished by Tenant and installed by Contractor, if indicated on plans.
C. The Contractor shall obtain artwork for all signage from Tenant.
D. The G.C. shall apply for, pay for, and provide any separate sign permits that may be required by the Landlord, or local or state governing bodies.

15 MECHANICAL

15A-HVAC

15A-01. GENERAL

A. Provide complete Heating, Ventilating and Air Conditioning System to conform with applicable Local, State and National Codes and Standards, and with Landlord's requirements.
B. Provide mechanical equipment, grilles and diffusers as scheduled. Provide air distribution system indicated, temperature controls, any necessary control wiring, and fire and smoke protection which may be required.
C. Verify the location of existing structural members and coordinate equipment locations & installations.
D. The location of mechanical and electrical equipment and fixtures shown on Mechanical and Electrical Drawings are for SCHEMATIC USE ONLY. Refer to Architectural Drawings for exact location of such equipment and fixtures. The Contractor shall field verify all existing construction to remain and verify that each light fixture, diffuser, etc. will fit where shown on Architectural Drawings. If adjustment is necessary, the Contractor shall notify the Tenant of situation. The Contractor will adjust location of fixtures and equipment (after approval from Tenant) up to 10'-0" from location shown on Architectural Drawings without Tenant incurring additional charges.

15B-SPRINKLER SYSTEM

15B-01. GENERAL

A. The Contractor is to provide all fire protection in accordance with all governing codes and authorities. The Contractor shall provide a sprinkler plan if required by the landlord or authorities.
B. The Contractor shall provide for (in his bid) any necessary work to smoke detection and/or life safety systems that may need to be modified or provided. G. C. to verify requirements with Landlord and/or local authorities as to type of system, local company providing servicing of system, etc.
C. All new sprinkler heads shall be located to the center of all ceiling tiles unless noted otherwise on construction documents.

16 ELECTRICAL

16A-ELECTRICAL

16A-01. GENERAL

A. Electrical work shall conform to applicable Codes and Ordinances, and to Landlord's requirements. Electrical Contractor shall verify sizes and locations of Landlord's stub-ins, and shall connect to the most convenient acceptable point.
B. Electrical Contractor shall provide service and make connections to all HVAC, signs and items labeled to be furnished by others and installed by Contractor.
C. Fit all work according to the relationships indicated on Drawings. Do not scale Drawings for exact locations.
D. Furnish and install all power wiring to motors, heaters and mechanical equipment indicated. Wiring into motor or equipment terminals shall be complete with connections through associated motor starters and disconnect switches.

16A-02. PANELS AND TRANSFORMERS

A. All panels shall be UL-labeled. The main distribution panel shall be UL-labeled as service entrance equipment.

16A-03. MATERIALS

A. All materials, apparatus and equipment shall be new and bear the UL-label.

16A-04. LIGHTING

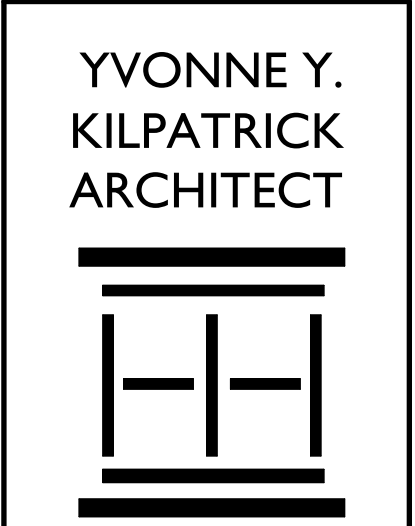
A. See the "Lighting Schedule". All fixtures shall be installed complete with new lamps of the proper type, wattage and voltage rating. Ballasts shall be high factor CBM and ETL labeled with integral fuse link, energy-saving type, as indicated.

16A-05. TELEPHONE

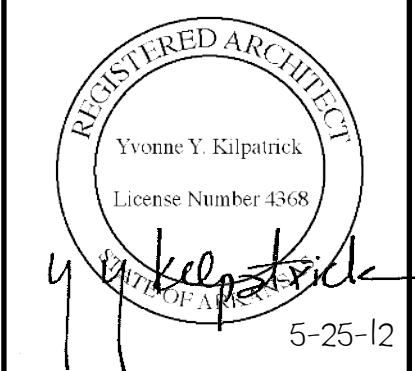
A. Telephone system requirements shall be coordinated with the Tenant/ Owner/franchisee and local Telephone Company. Conduit to be supplied to the points indicated or required.
B. Temporary telephone system shall be maintained by the Contractor at the site for use by the Construction Trades and Owner's Site Personnel at the Contractor's expense.
C. G.C. shall be responsible for providing telephone service cable from Landlord/telephone service cable from Landlord/telephone distribution points located within the building.
D. All wiring must be installed in fire-stopped sleeves when passing through partitions.
E. All wiring must be plenum rated.

FIVE GUYS VENDOR CONTACT INFORMATION

Table with 4 columns: EQUIPMENT, VENDOR NAME, PHONE, and CONTACT INFO. Lists various vendors for equipment like SNEEZIE GUARDS, SECURITY SYSTEM, STAINLESS STEEL LEGS, etc.



Preston Ridge Commons
3155 North Point Parkway
Building E - Suite 200
Alpharetta, Georgia 30005
Tel 770 619 5916
Fax 770 619 5919



FIVE GUYS
BURGERS and FRIES
7110 ROGERS AVENUE, SUITE F
FORT SMITH, ARKANSAS 72903

REVISIONS

Table with 3 columns: NO., DATE, REVISION. Contains one row with 'NO.' in the first column and 'DATE' in the second column.

INDENTIFICATION CLAUSE
THE OWNER SHALL RELEASE HOLD HARMLESS AND INDEMNIFY THE ARCHITECT WITH RESPECT TO ANY CHANGES MADE TO THE CONSTRUCTION DOCUMENTS BY ANYONE OTHER THAN THE ARCHITECT OR CHANGES IN ANY ASPECT OF THE WORK OR FAILURE BY THE CONTRACTOR TO BUILD IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS.

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SHEET TITLE SPECIFICATIONS

Table with 2 columns: PROJECT NO. 1226, SHEET NO. SPEC. Includes a large 'SPEC' logo.